

Title	Planning Applications
To:	Planning Control Committee
On:	27 October 2015
By:	Development Manager
Status:	For Publication

Executive Summary

The attached reports present members with a description of various planning applications, the results of consultations, relevant policies, site history and issues involved.

My recommendations in each case are given in the attached reports.

This report has the following implications

Township Forum/ Ward: Identified in each case.

Policy: Identified in each case.

Resources: Not generally applicable.

Equality Act 2010: All planning applications are considered in light of the Equality Act 2010 and associated Public Sector Equality Duty, where the Council is required to have due regard for:
The elimination of discrimination, harassment and victimisation;
The advancement of equality of opportunity between persons who share a relevant protected characteristic and person who do not share it;
The fostering of good relations between persons who share a relevant protected characteristic and person who do not share it; which applies to people from the protected equality groups.

Human Rights: All planning applications are considered against the provisions of the Human Rights Act 1998.

Under Article 6 the applicants (and those third parties who have made representations) have the right to a fair hearing and to this end full consideration will be given to their comments.

Article 8 and Protocol 1 of the First Article confer a right to respect private and family life and a right to the protection of property, ie peaceful enjoyment of one's possessions which could include a person's home, and other land and business assets.

In taking account of the Council policy as set out in the Bury Unitary Development Plan 1997 and all material planning considerations, I have concluded on balance that the rights conferred upon the applicant/ objectors/ residents/ other interested party by Article 8 and Article 1 of the First Protocol may be interfered with, since such interference is in accordance with the law and is justified in the public interest. Any restriction of these rights posed by refusal/ approval of the application is legitimate since it is proportionate to the wider benefits of such a decision, is based

upon the merits of the proposal, and falls within the margin of discretion afforded to the Council under the Town & Country Planning Acts.

Development Manager

Background Documents

1. The planning application forms and plans submitted therewith.
2. Certificates relating to the ownership.
3. Letters and Documents from objectors or other interested parties.
4. Responses from Consultees.

FOR FURTHER INFORMATION ON THE CONTENTS OF EACH REPORT PLEASE CONTACT INDIVIDUAL CASE OFFICERS IDENTIFIED IN EACH CASE.

01	Township Forum - Ward: Bury East - Redvales	App No. 58866
	Location: Site of former Fishpool County Infants School, Parkhills Road, Bury, BL9 9AP	
	Proposal: Residential development - 8 no. dwellings	
	Recommendation: Approve with Conditions	Site Visit: N
<hr/>		
02	Township Forum - Ward: Bury East	App No. 58985
	Location: Site of Hartshead Works, Deal Street, Bury, BL9 7PU	
	Proposal: Demolition of existing buildings and residential development comprising 39 no. dwellings (15 no. houses and 24 no. apartments), new access from Deal Street, carparking and landscaping	
	Recommendation: Minded to Approve	Site Visit: N
<hr/>		
03	Township Forum - Ward: Whitefield + Unsworth - Besses	App No. 59051
	Location: 116 Bury New Road, Whitefield, Manchester, M45 6AD	
	Proposal: Retrospective application for change of use of part of ground floor from offices (A2) to taxi booking office (Sui Generis)	
	Recommendation: Approve with Conditions	Site Visit: Y
<hr/>		
04	Township Forum - Ward: Bury East	App No. 59111
	Location: Bury Art Gallery, Moss Street, Bury, BL9 0DF	
	Proposal: Listed building consent to extend the temporary consent for sculptures installed in the alcoves at the front of the sculpture centre and library entrance to 5 years	
	Recommendation: Approve with Conditions	Site Visit: N
<hr/>		
05	Township Forum - Ward: Radcliffe - East	App No. 59193
	Location: Site of former Whittaker House, Parsonage Street/Whittaker Street, Radcliffe, Manchester, M26 2TD	
	Proposal: Erection of two storey residential building comprising 6 no. supported living apartments (Class C3)	
	Recommendation: Approve with Conditions	Site Visit: N
<hr/>		
06	Township Forum - Ward: Prestwich - Sedgley	App No. 59202
	Location: 111 Bury Old Road, Prestwich, Manchester, M25 0EQ	
	Proposal: Single storey extension at side; Two storey extension at rear; Entrance porch at front/side; External works and 2 no. additional parking spaces	

Recommendation: Approve with Conditions

Site Visit: N

07 Township Forum - Ward: Whitefield + Unsworth - Unsworth **App No.** 59224

Location: The Hollins, Haweswater Crescent, Bury, BL9 8LT

Proposal: Substitution of house types to plots 3,4,11,20 & 21 following grant of planning permission ref. 56860

Recommendation: Approve with Conditions

Site Visit: N

Ward: Bury East - Redvales

Item 01

Applicant: Avantgarde (UK) Limited

Location: Site of former Fishpool County Infants School, Parkhills Road, Bury, BL9 9AP

Proposal: Residential development - 8 no. dwellings

Application Ref: 58866/Full

Target Date: 17/09/2015

Recommendation: Approve with Conditions

Description

The site is currently vacant and was part of the former Fishpool County Infant School. The site is located between Devon Street and Nelson Street. There is a brick wall along the frontage with Parkhills Road.

There are residential properties to all boundaries and a primary school is located to the south east of the site.

The proposed development involves the erection of 8 dwellings, which would front onto Parkhills Road. The proposed dwellings would be two storeys in height with living accommodation in the roof space. The proposed dwellings would be constructed from red brick with a tile roof. Vehicular access would be taken from Nelson Street and pedestrian access would be taken from Parkhills Road.

Relevant Planning History

40405 - Road closure to link school sites at Fishpool & St Chad's Primary School, Nelson Street, Bury. Approved with conditions - 23 April 2003

42890 - Demolition of former fishpool school; provision of new car park and junior playground and associated site work. Alterations and extension to St Luke's Primary School and associated site works at St Luke's Primary School (Former Fishpool and St Chad's School), Nelson Street, Bury. Approved with conditions - 3 September 2004

44241- Outline - residential development at part of former Fishpool Infants School, Parkhills Road, Bury. Approved with conditions - 6 June 2005.

48716 - Residential development - 8 dwellings at part of site of former Fishpool School, Parkhills Road, Bury. Refused - 11 January 2008

49460 - Erection of 8 dwellings (resubmission of 48716) at part of site of former Fishpool School, Parkhills Road, Bury. Approved with conditions - 28 March 2008

53609 - Application to extend the time limit for implementation of planning permission 49460 for 8 no. dwellings at Former Fishpool School, Parkhills Road, Bury. Approved with conditions - 10 March 2011

Publicity

23 neighbouring properties (39 - 61 (odds), The Moss, Vanstone, 40, 70 Parkhills Road; 58 - 62 (evens) Devon Street, 9, 11, 15 Sultan Street; St Luke's C of E Primary School, Morley Street were notified by means of a letter on 24 July 2015.

2 letters have been received from the occupiers of 55 and 70 Parkhills Road, which have raised the following issues:

- There are not enough parking spaces currently, even with permit parking.
- The trees reduce the sunlight to existing properties and the proposed dwellings would

make it worse.

- Building more houses would cause damage to the foundations of the existing houses.
- Double yellow lines are on the road to limit usage for the safety of the children walking to school
- The access to the car park should be located off Devon Street.

The objectors have been notified of the Planning Control Committee meeting.

Consultations

Traffic Section - No objections, subject to the inclusion of conditions relating to waiting restrictions, construction management plan, turning facilities, car parking and measures to prevent mud from passing onto the highway.

Drainage Section - No objections, subject to the inclusion of condition relating to foul and surface water drainage.

Environmental Health - Contaminated Land - No objections, subject to the inclusion of conditions relating to contaminated land.

Design for security - No response.

United Utilities - No objections, subject to the inclusion of conditions relating to foul and surface water drainage.

Unitary Development Plan and Policies

H1/2	Further Housing Development
H2/1	The Form of New Residential Development
H2/2	The Layout of New Residential Development
EN1/2	Townscape and Built Design
EN1/3	Landscaping Provision
EN2	Conservation and Listed Buildings
EN6	Conservation of the Natural Environment
EN7	Pollution Control
EN7/5	Waste Water Management
HT2/4	Car Parking and New Development
HT5/1	Access For Those with Special Needs
SPD6	Supplementary Planning Document 6: Alterations & Extensions
SPD11	Parking Standards in Bury
NPPF	National Planning Policy Framework

Issues and Analysis

The following report includes analysis of the merits of the application against the relevant policies of both the National Planning Policy Framework (NPPF) and the adopted Bury Unitary Development Plan (UDP) together with other relevant material planning considerations. The policies of the UDP that have been used to assess this application are considered to be in accordance with the NPPF and as such are material planning considerations. For simplicity, just the UDP Policy will be referred to in the report, unless there is a particular matter to highlight arising from the NPPF where it would otherwise be specifically mentioned.

Principle - Following revocation of the North West Regional Strategy on 20 May 2013, there is no statutory housing target for Bury. Work has commenced on the Greater Manchester Spatial Framework and this will bring forward a new statutory housing target for the Borough. This will subsequently be incorporated into Bury's future Local Plan.

In the meantime, the National Planning Policy Framework should be treated as a material planning consideration and it emphasises the need for local planning authorities to boost the supply of housing to meet local housing targets in both the short and long term. There is a particular emphasis, as in previous national planning guidance, to identify a rolling five year supply of deliverable housing land.

Policy H1/2 states that the Council will have regard to various factors when assessing a proposal for residential development, including whether the proposal is within the urban

area, the availability of infrastructure and the suitability of the site, with regard to amenity, the nature of the local environment and the surrounding land uses.

The site is located within the urban boundary and within a residential area. Planning permission was granted for residential development in 2005, 2008 and 2011. The proposed development would not conflict with the surrounding uses and is in a sustainable location with good access to public transport and services. The site formed part of a school, which has been demolished and as such, is previously developed land. Therefore, the proposed development would be acceptable in principle and would be in accordance with Policy H1/2 of the Bury Unitary Development Plan.

Design and layout - The proposed development would provide a terrace of 8 dwellings, which would be constructed from red brick with a tile roof. The use of headers, cills, canopies and dormers would add visual interest to the elevations. As such, the proposed development would not be a prominent feature within the locality.

All of the proposed dwellings would have a rear garden which would provide a suitable level of private amenity space. There would be space within the rear gardens for bin storage. The brick wall along the frontage with Parkhills Road would be retained with gates inserted to provide access to the proposed dwellings. 1.8 metre high timber fencing would be provided to the rear gardens, which would be acceptable and would match other fencing in the area. Therefore, the proposed development would be in accordance with Policies EN1/2, H2/1 and H2/2 of the Bury Unitary Development Plan.

Impact upon residential amenity - SPD6 provides guidance on aspect standards between residential properties and as such, would be relevant in this case.

There would be between 28.5 and 29.5 metres between the proposed dwellings and Nos 41 - 53 Parkhills Road and between 35 and 39 metres from the rear elevation of the proposed dwellings to the dwellings on Sultan Street, which are beyond the playground. Both of these distances would be in excess of the 23 metre aspect standard.

There would be 17 metres from The Moss to the gable of plot 1 and 28 metres from No. 70 Parkhills Road to the gable of plot 8, which would be in excess of the 16 metre aspect standard.

Therefore, the proposed development would not have an adverse impact upon the residential amenity of the neighbouring properties and would be in accordance with Policies H2/1 and H2/2 of the Bury Unitary Development Plan.

Highways issues - The proposed development would be accessed from the existing turning head on Nelson Street. There would be the required level of visibility. The Traffic Section has no objections, subject to the inclusion of conditions relating to waiting restrictions, construction management plan, turning facilities, car parking and measures to prevent mud from passing onto the highway. Therefore, the proposed development would not be detrimental to highway safety and would be in accordance with Policies H2/1 and H2/2 of the Bury Unitary Development Plan.

Parking - SPD11 states that the maximum number of parking spaces is 3 spaces per 4 bed unit within a high access area. This equates to 24 spaces.

The proposed development would provide 8 spaces. Currently, there are parking restrictions on Parkhills Road immediately adjacent to the site, which restricts parking between school drop off and pick up times on Mondays to Fridays.

The parking restrictions were put into place when the school was operating and has since been demolished. As such, it may be possible to lift these restrictions, subject to the required legal process, which would allow on-street parking directly in front of the property. The site has good access to public transport and services within the local shopping centre.

Given that the removal of the parking restrictions, the access to public transport and the close proximity to a shopping centre, it is considered that the level of parking provision would be acceptable in this instance. Therefore, the proposed development would be in accordance with Policy HT2/4 of the Bury Unitary Development Plan.

Response to objectors

The issues relating to parking, daylight and access have been addressed in the main report above. The issue relating to damage to foundations of the existing dwellings during construction is not a material planning consideration and would be covered by Building Control.

Statement in accordance with Article 35(2) Town and Country Planning (Development Management Procedure) (England) (Amendment) Order 2015

The Local Planning Authority worked positively and proactively with the applicant to identify various solutions during the application process to ensure that the proposal comprised sustainable development and would improve the economic, social and environmental conditions of the area and would accord with the development plan. These were incorporated into the scheme and/or have been secured by planning condition. The Local Planning Authority has therefore implemented the requirement in Paragraphs 186-187 of the National Planning Policy Framework.

Recommendation: Approve with Conditions

Conditions/ Reasons

1. The development must be begun not later than three years beginning with the date of this permission.
Reason. Required to be imposed by Section 91 Town & Country Planning Act 1990.
2. This decision relates to drawings numbered 14037-LP, 14047-101, 14047-102 Rev A, 14047-103, 14047-104 and the development shall not be carried out except in accordance with the drawings hereby approved.
Reason. For the avoidance of doubt and to ensure a satisfactory standard of design pursuant to the policies of the Bury Unitary Development Plan listed.
3. Details/Samples of the (materials/bricks) to be used in the external elevations, together with details of their manufacturer, type/colour and size, shall be submitted to and approved in writing by the Local Planning Authority before the development is commenced. Only the approved materials/bricks shall be used for the construction of the development.
Reason. No material samples have been submitted and are required in the interests of visual amenity and to ensure a satisfactory development pursuant to UDP Policy EN1/1 Visual Amenity.
4. No development shall commence unless and until:-
 - A contaminated land Preliminary Risk Assessment report to assess the actual/potential contamination and/or ground gas/landfill gas risks at the site shall be submitted to, and approved in writing by, the Local Planning Authority;
 - Where actual/potential contamination and/or ground gas/landfill gas risks have been identified, detailed site investigation and suitable risk assessment shall be submitted to, and approved in writing by the Local Planning Authority;
 - Where remediation/protection measures is/are required, a detailed Remediation Strategy shall be submitted to, and approved in writing by, the Local Planning Authority.Reason. The scheme does not provide full details of the actual contamination

and subsequent remediation, which is required to secure the satisfactory development of the site in terms of human health, controlled waters, ground gas and the wider environment and pursuant to National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.

5. Following the provisions of Condition 4 of this planning permission, where remediation is required, the approved Remediation Strategy must be carried out to the satisfaction of the Local Planning Authority within agreed timescales; and A Site Verification Report detailing the actions taken and conclusions at each stage of the remediation works, including substantiating evidence, shall be submitted to and approved in writing by the Local Planning Authority prior to the development being brought into use.
Reason. To secure the satisfactory development of the site in terms of human health, controlled waters and the wider environment and pursuant to National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.
6. No development shall commence unless or until details of foul and surface water drainage aspects, including an assessment of potential SuDS options for surface water drainage with calculations to support the chosen solution, have been submitted to and approved in writing by the Local Planning Authority. The approved details shall be implemented and be available for use before first occupation of the dwellings hereby approved.
Reason. No details have been provided and to ensure a satisfactory means of drainage pursuant to Policy EN7/5 - Waste Water Management of the Bury Unitary Development Plan.
7. Prior to first occupation of any of the dwellings hereby approved, a scheme for the review of the existing waiting restrictions on Parkhills Road in the vicinity of the site shall be submitted to and approved in writing by the Local Planning Authority. The scheme shall include details of the measures proposed, all necessary modifications to road markings and signage and a timetable for implementation.
Reason. To mitigate the impact of any visitor parking that is likely to be generated by the proposed development on the adjacent residential streets pursuant to the following Policies of the Bury Unitary Development Plan:
Policy H2/1 - The Form of New Residential Development
Policy H2/2 - The Layout of New Residential Development
Policy EN1/2 - Townscape and Built Design.
8. No development shall commence unless and until a 'Construction Traffic Management Plan' (CTMP) has been submitted to and approved in writing by the Local Planning Authority. The approved plan shall be adhered to throughout the construction period and shall ensure that there is provision to be made for the turning and manoeuvring of vehicles within the curtilage of the site, parking on-site of operatives' and construction vehicles together with storage on-site of construction materials. The provision shall be retained and used for the intended purpose for the duration of the construction period and the areas identified shall not be used for any other purposes other than the turning and parking of vehicles and storage of construction materials respectively.
Reason. The scheme does not provide details of the route for construction and to mitigate the impact of the construction traffic generated by the proposed development on the adjacent streets, in the interests of highway safety pursuant to the following Policies of the Bury Unitary Development Plan:
Policy H2/1 - The Form of New Residential Development
Policy H2/2 - The Layout of New Residential Development
Policy EN1/2 - Townscape and Built Design.
9. The access alterations indicated on approved plan reference 14047-102 Revision A shall be implemented to an agreed specification before the development is commenced/site access is brought into use

Reason. To ensure good highway design in the interests of road safety pursuant to the following Policies of the Bury Unitary Development Plan:

Policy H2/1 - The Form of New Residential Development

Policy H2/2 - The Layout of New Residential Development

Policy EN1/2 - Townscape and Built Design.

10. The turning facilities indicated on approved plan reference 14047-102 Revision A shall be provided before the development is first occupied and the areas used for the manoeuvring of vehicles shall subsequently be maintained free of obstruction at all times

Reason. To minimise the standing and turning movements of vehicles on the highway in the interests of road safety pursuant to the following Policies of the Bury Unitary Development Plan:

Policy H2/1 - The Form of New Residential Development

Policy H2/2 - The Layout of New Residential Development

Policy EN1/2 - Townscape and Built Design.

11. The car parking indicated on approved plan reference 14047-102 Revision A shall be surfaced, demarcated and made available for use prior to the development hereby approved being occupied and thereafter maintained at all times

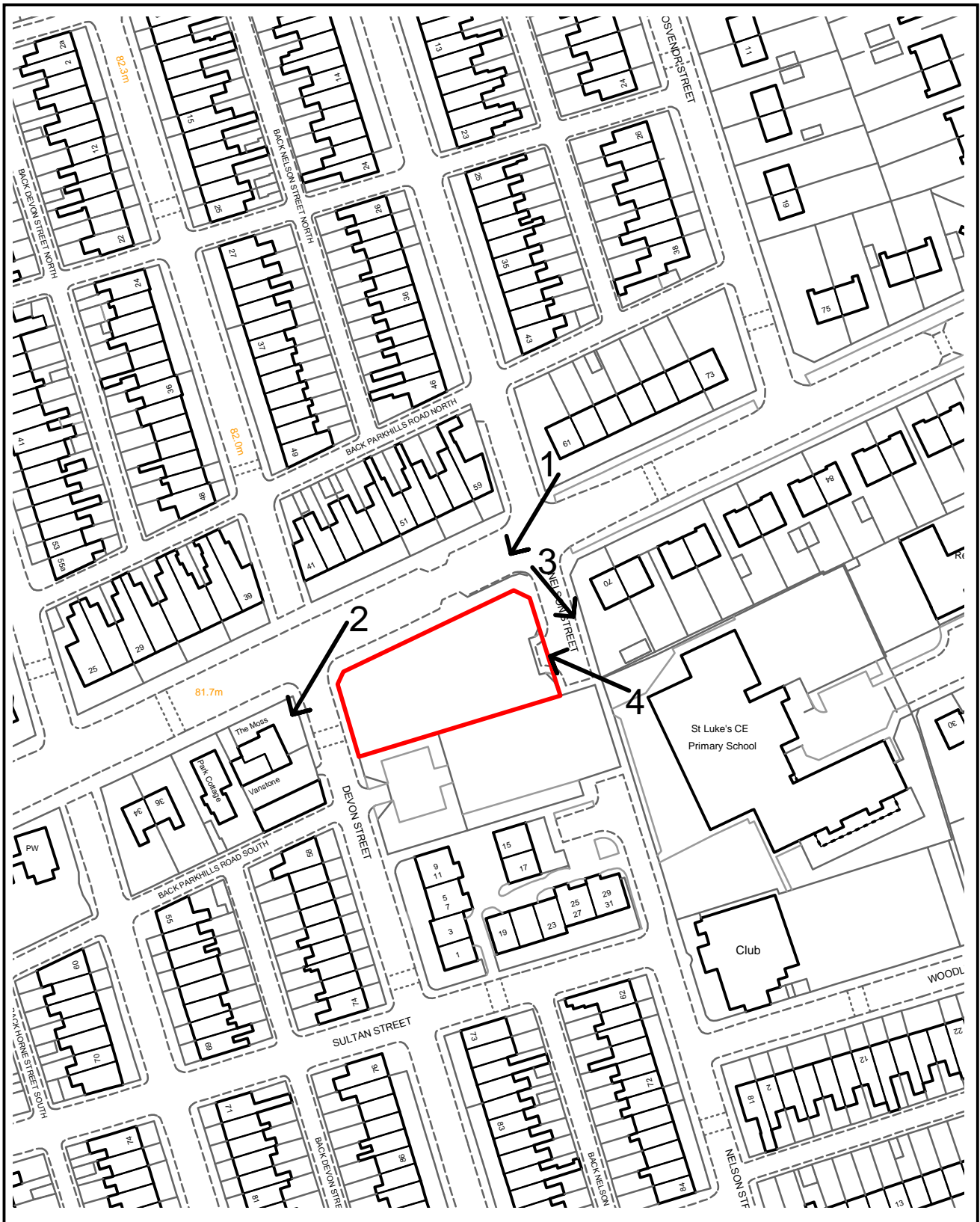
Reason. To ensure adequate off street car parking provision in the interests of road safety pursuant to Policy HT2/4 - Car Parking and New Development of the Bury Unitary Development Plan.

12. Before the development is commenced, details shall be submitted to and approved by the Local Planning Authority to cover measures to ensure that all mud and other loose materials are not carried on the wheels and chassis of any vehicles leaving the site and measures to minimise dust nuisance caused by the operations. The approved details shall be implemented and maintained thereafter during the period of construction.

Reason. No details have been provided and to ensure that the adopted highways are kept free of deposited material from the ground works operations pursuant to Policy H2/2 - The Layout of New Residential Development of the Bury Unitary Development Plan.

For further information on the application please contact **Helen Longworth** on **0161 253 5322**

Viewpoints



PLANNING APPLICATION LOCATION PLAN

APP. NO 58866

**ADDRESS: Site of Fishpool County Infants School
Parkhills Road**

**Bury
Planning, Environmental and Regulatory Services 1:1250**

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58866

Photo 1



Photo 2



58866

Photo 3



Photo 4



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PARKHILLS ROAD

DEVON STREET

NELSON STREET



Notes

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Any discrepancies are to be reported to the architect for clarification.

All materials and workmanship to be in accordance with the current British Standards and codes of practice.

70

A 25/05/15 jcd
 Plan: 0000
 Drawn by: JCD
 Checked by: JCD

Client:
 Avantguard Ltd

Project:
 Proposed Residential Development
 Parkhills Road, Bury.

Drawing:
 Proposed Site Plan

Date: May 2015
 Drawn by: jcd / J.S.
 Scale: 1:100 @ A1

2015 Rev - Draw No - Rev
 14047-102 rev A

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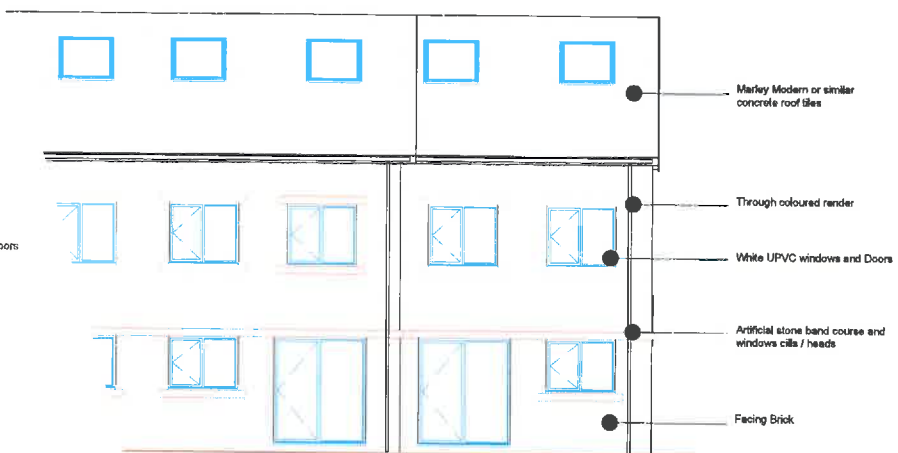
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 Luton
 Bedfordshire
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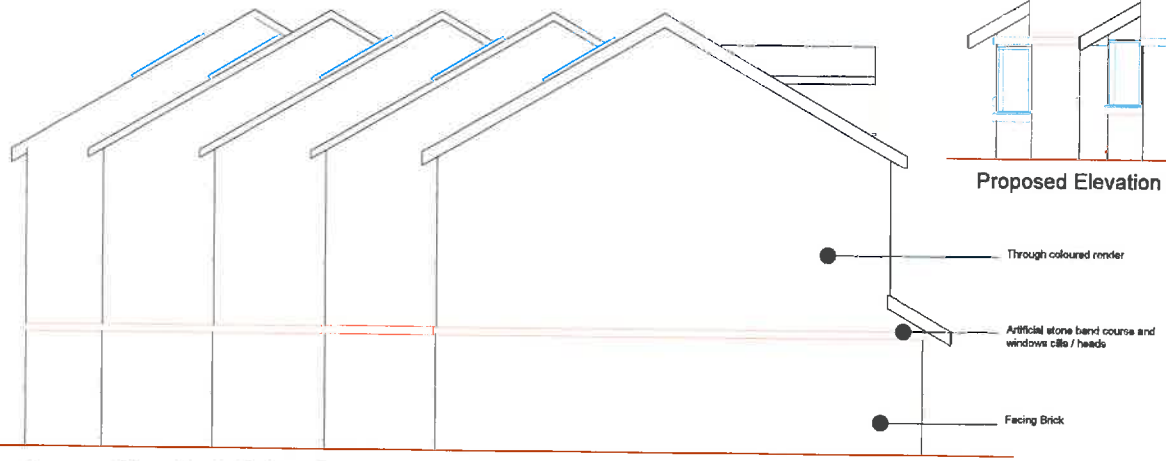
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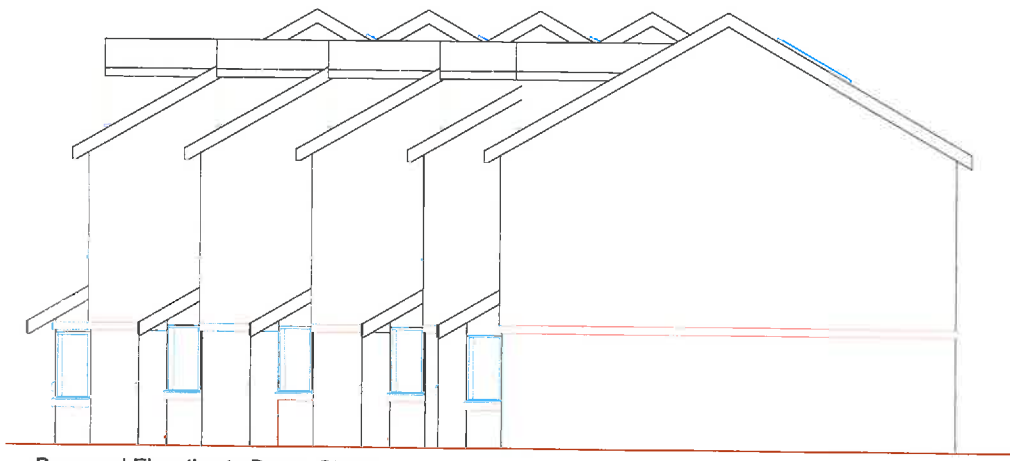
Proposed Partial Elevation to Parkhills Road



Proposed Partial Elevation to Rear

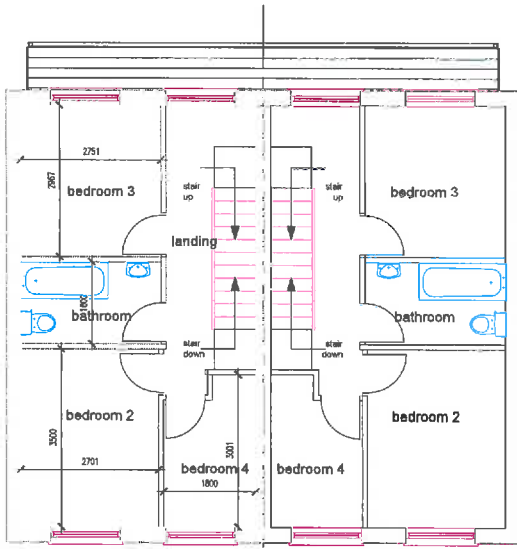


Proposed Elevation to Nelson Street

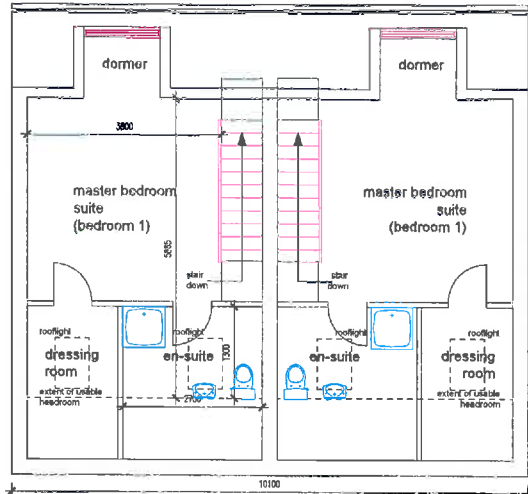


Proposed Elevation to Devon Street

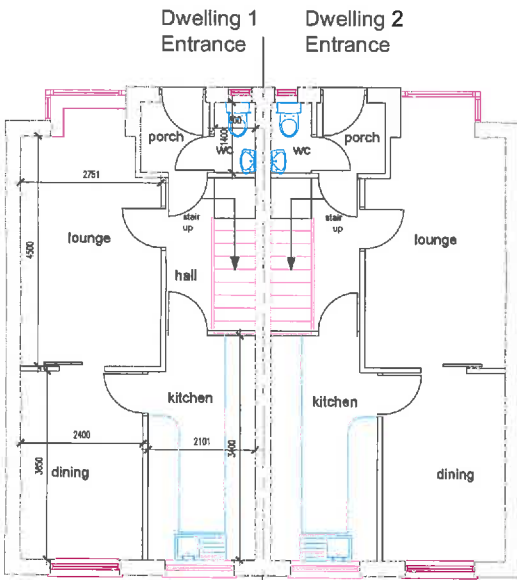
Rev	Desc	Issued	Comments
Client			
Avantegard Ltd			
Project			
Proposed Residential Development Parkhills Road, Bury.			
Drawing			
Proposed House Type - Elevations			
Date	Drawn by	Revised	
May 2014	jad / OS		1:100 @ A1
Job No - Draw No - Rev			
14047-104			
The Intelligent Design Centre			
<small>Creating lasting and positive experiences and the built environment</small> 511 Eagle Street T: 01254 232667 Accrington F: 01254 592955 Lancashire E: info@intelligentdesigncentre.co.uk BB1 1JZ W: www.intelligentdesigncentre.co.uk			



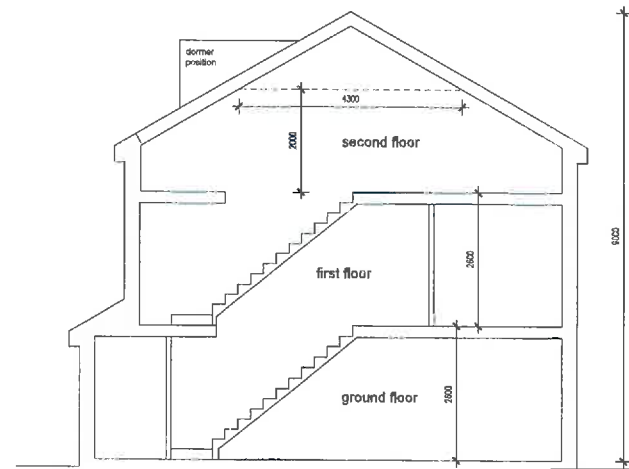
Proposed First Floor Plan



Proposed Second Floor Plan



Proposed Ground Floor Plan



Proposed Section

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Client	Avanteguard Ltd	
Project	Proposed Residential Development Parkhills Road, Bury.	
Drawing	Proposed House Type - Plan and Section	
Date	May 2014	Drawn by: jad/OS, Scales: 1:50 @ A1
Job No - Draw No - Rev	14047-103	

Ward: Bury East

Item 02

Applicant: MCI Developments Limited

Location: Site of Hartshead Works, Deal Street, Bury, BL9 7PU

Proposal: Demolition of existing buildings and residential development comprising 39 no. dwellings (15 no. houses and 24 no. apartments), new access from Deal Street, carparking and landscaping

Application Ref: 58985/Full

Target Date: 16/10/2015

Recommendation: Minded to Approve

It is recommended that this application is Minded to Approve subject to the signing and completion of a Section 106 agreement for Affordable Housing in accordance with Policy H4/1 of the UDP and SPD5. If the agreement is not signed within a reasonable timeframe, then delegated authority is sought by the Development Manager to determine the application.

The application has been brought to Planning Committee as it would be contrary to the requirements of UDP Policy RT2/2 and SPD1.

Description

The application involves a site which is currently occupied by a B2 business, and comprises a 2/3 storey brick building positioned on the northern area of the site, with parking and service yard to the south. There are several access points and the site is bounded by a mix of brick built walls and palisade fencing.

The site is classed under UDP Policy EC2/2 - Employment Land and Premises Outside the Employment Generating Areas, and has been identified in the Council's Employment Land Review as unsuitable for retention as an employment site.

The surrounding area is predominantly residential in character, with dwellings on all sides, comprising older social housing stock and a newer development in a mix of 2 storey dwellings and apartment buildings, of a modern/contemporary style.

The proposal seeks the demolition of the building and its redevelopment to provide a residential development for a 100% Affordable Housing Scheme, comprising 39 no. dwellings in total, consisting of 15 no. houses and 24 no. apartments, with a new access from Deal Street, parking and landscaping.

The dwellings would be 2 storey in height arranged in pairs of semis and one row of 3, and would offer 2 bed accommodation with one curtilage parking space (2 spaces for plot 2), private garden areas and bin stores. The apartment block would be 3 storey in height and comprise 12 x 2 bed and 12 x 1 bed, each with 1 allocated parking space and communal bin store. (The dwellings are annotated on plan as plots 1-15, and apartments as 16-39).

There would be one access into the site off Deal Street which would lead to a cul de sac type arrangement, with only plots 14 and 15 in the south eastern part of the site being accessed from the street.

Boundary treatment around the periphery of the site would be a mix of 2.1m high brick and piers to the north where the site would abut the back street, and 1.2m high bow top railings and retaining wall along the public frontages of deal street and maxwell Street. To the

east, the existing brick wall would be utilised and made good where necessary.

Relevant Planning History

01605/E - Demolition of all existing buildings and construction of a residential scheme of development comprising one three storey apartment block containing 24 apartments along with 10 mews houses and 6 semi-detached houses and associated infrastructure - Enquiry completed 20/02/2015

Publicity

56 letters sent on 17/7/2015 to properties on Maxwell Street, Shaw Street, Deal Street, Rowan Drive, Chestnut Avenue.

Site notice posted 19/8/2015.

Press advert in the Bury Times 30/7/2015.

Comment from No 750 Deal Street

- Totally support the demolition and new houses - but object to the apartments being run by a Housing Association and the bad tenants it would accommodate.
- Do not want change in the area;

Support letter received from No 13 Rowan Drive with the following comments:

- Support the application 100%;
- Would like to see a condition to install gating to the back roads;
- Complaints of fly tipping and anti social behaviour in the back streets - hopes the application approved for the removal of this eyesore at the rear of Rowan Drive.

Comment from No 38 Maxwell Street:

- Are there plans to incorporate the back street of former Crabtree Street (now Rowan Drive) which backs into the development. The back street has for many years and continues to be a dumping ground, overgrown with weeds and dog faeces. the area would be better without it.

Those who have expressed an interest have been informed of the Planning Control Committee meeting.

Consultations

Traffic Section - No objection subject to conditions.

Drainage Section - No objection subject to condition.

Environmental Health Contaminated Land - No objection subject to conditions.

Waste Management - Bin storage area will need to accommodate 4 x 1100ltr bins in total for the 3 weekly service. 2 for residual waste and 2 for recycling

Environment Agency - No formal response required.

Greater Manchester Police - designforsecurity - The application is supported subject to the development designed and constructed in accordance with the recommendations of the submitted Crime Impact Statement dated 17/7/15 and by Secured by design standards.

United Utilities (Water and Waste) - No objection subject to condition.

Electricity North West Ltd - The applicant is advised to contact ENW in regard to potential impact on infrastructure. An informative to the applicant would be included.

Fire Protection Dept Bury Fire Station (Part B) - Standing advice received and included as an informative to the applicant.

The Coal Authority - The site is located within a low risk area. No objection

Greater Manchester Ecology Unit - No objection subject to a condition requiring a license or statement by Natural England to authorise the acceptability of commencement of the development.

Unitary Development Plan and Policies

NPPF National Planning Policy Framework

EC2/2 Employment Land and Premises

H1/2 Further Housing Development

H2/1 The Form of New Residential Development

H2/2	The Layout of New Residential Development
H4/1	Affordable Housing
EN1/2	Townscape and Built Design
EN1/5	Crime Prevention
RT2/2	Recreation Provision in New Housing Development
HT2/4	Car Parking and New Development
HT5/1	Access For Those with Special Needs
HT6/2	Pedestrian/Vehicular Conflict
SPD5	DC Policy Guidance Note 5: Affordable Housing
SPD6	Supplementary Planning Document 6: Alterations & Extensions
SPD11	Parking Standards in Bury
SPD16	Design and Layout of New Development in Bury

Issues and Analysis

The following report includes analysis of the merits of the application against the relevant policies of both the National Planning Policy Framework (NPPF) and the adopted Bury Unitary Development Plan (UDP) together with other relevant material planning considerations. The policies of the UDP that have been used to assess this application are considered to be in accordance with the NPPF and as such are material planning considerations. For simplicity, just the UDP Policy will be referred to in the report, unless there is a particular matter to highlight arising from the NPPF where it would otherwise be specifically mentioned.

Land use principle - Whilst the site is in an existing employment use, it has been identified in the Council's Employment Land Review as unsuitable for retention as an Employment site. In principle, redevelopment for residential purposes is therefore considered to be acceptable.

Housing principle - Following revocation of the North West Regional Strategy on 20th May 2013, there is no statutory housing target for Bury. Work has commenced on the Greater Manchester Spatial framework and this will bring forward a new statutory housing target for the Borough. This will subsequently be incorporated into Bury's future Local Plan.

In the meantime, the National Planning Policy Framework should be treated as a material consideration and it emphasises the need for local planning authorities to boost the supply of housing to meet local housing targets in both the short and long term. There is a particular emphasis, as in previous national planning guidance, to identify a rolling five year supply of deliverable housing land.

In terms of the location and relationship of the proposed development to the surrounding area, the following UDP Policies are relevant, the details of which are discussed in the report below.

UDP Policy H1/2 - Further Housing development states that the council will have regard to various factors when assessing a proposal for residential development, including whether the proposal is within the urban area, the availability of infrastructure and the suitability of the site, with regard to amenity, the nature of the local environment and the surrounding land uses.

UDP Policies H2/1 - The Form of New Residential Development and H2/2 - The Layout of New Residential Development takes into consideration factors relating to the height and roof type of adjacent buildings, the impact of developments on residential amenity, the density and character of the surrounding area and the position and proximity of neighbouring properties. Regard is also given to parking provision and access, landscaping and protection of trees/hedgerows and external areas.

Supplementary Planning Document 6 - Alterations and Extensions to Residential Properties provides useful guidance in terms of acceptable aspect standards between dwellings and design criteria.

The site is located within an established residential area with dwellinghouses surrounding all boundaries of the site. There is existing infrastructure in place to support the scale of the development and the nature and character of the local area and surrounding land uses would be compatible with the proposals. The development would contribute to meeting local housing needs, and in particular would contribute to Affordable Housing provision in the Borough.

As such, the principle is considered to be acceptable and would be in compliance with the NPPF and UDP Policies H1/2, H2/1 and H2/2.

Details of the layout, design, proximity to residential properties and access and parking are discussed below.

Layout - The site has two main street frontages, to the south with Maxwell Street and to the west with Deal Street. There are 2 back streets that run parallel to the north and east of the site which connect to the main streets, to create a rectangular plot. This has largely dictated the position of the proposed properties in relation to the surrounding area and the cul de sac type layout and density of the scheme.

The apartment block would face onto Deal Street and would be set back into the site to create a grassed area at the front, bounded by a retaining wall and bow top railings. Access would be off Deal Street to the north of the apartment block, with a pair of semi detached houses on the opposite side, also fronting Deal Street. The remainder of the houses, apart from the semis fronting Maxwell Street to the south, would be accessed internally, laid out in 2 rows along the north and eastern boundaries and facing into the site.

Each dwellinghouse would have a private garden area, bin store area and dedicated driveway parking for one car (apart from plot 2 with double space parking). Gardens would be separated by a mix of 1.5m and 1.8m timber fencing.

There would be a row of parking spaces to the side and rear of the apartment block, with one space allocated per unit. Outdoor amenity area for the apartments would be fairly limited, comprising the grassed area which surrounds the building. However, Hoyles park is only 150m away, and provides quality open space for the local area. It would be within walking distance from the site, and as such considered would provide usable outdoor amenity for the development. Two timber bin stores would be located to the north of the building for communal use.

The layout of the site and arrangement of the properties have been designed to emulate the character of the surrounding properties. The development would offer modest sized housing accommodation which would be reflective of the context of the residential area.

As such, the proposals are considered to be acceptable and comply with UDP Policies H2/1 and H2/2.

Design and appearance - The proposed dwellings would comprise one row of 3 mews type and 6 pairs of semi detached 2 storey, 2 bedroom properties. The scale and massing of the houses and the ridge and eaves heights would be similar to the established housing estate surrounding the site, as well as reflecting the form of the newer builds on Shaw Street, Rowan Drive and Maxwell Street.

The properties would be modest yet contemporary in design, with canopied headed doorways, contrasting detailed brickwork and featured panelling between the ground and first floor windows, reflective of the linear and vertical fenestrations found on the more recently housing development built nearby.

The apartment block would also have a contemporary appearance, presenting piked roof detailing to both the front and rear elevations, linear and symmetrical window fenestration

patterns and Juliette railings to the middle row of full length windows.

The area is characterised by both older housing stock and a more contemporary and modern housing development, which feature a variety of different styles and materials. Materials proposed for the development would be red facing blend brickwork, smooth red detail brick, grey roof tiles and white window frames and rainwater goods, which are considered to be in keeping in the area.

As such, it is considered the design and appearance of the proposed properties would be in keeping with the local vernacular and in compliance with UDP Policies EN1/2 and H2/1.

Impact on residential amenity - SPD 6 contains supplementary guidance on householder extensions and is the yardstick used when assessing relationships to new residential development. A separation distance of 20m between habitable room windows and 13m between a principal ground floor habitable room window and a 2 storey blank wall is generally considered to be an acceptable minimum distance. Where there is a difference in levels between 2 properties, or additional storeys in height, an increased separation distance would be sought.

The 3 storey apartments would be sited directly opposite houses on Deal Street which are 2 storey in height and as such a minimum separation of 23m would be sought. There would be 23.7m and as such aspect standards satisfied.

There would be a distance of 20m between the 2 storey houses on plots 1 and 2 to No 93 Deal Street and therefore in compliance with aspect standards.

To the north of the site, the closest relationship would be plot 3 to No 62 Shaw Street at 19.8m, which is 0.2m short of the requirement. The existing 2 storey building currently sits directly abutting the back edge of pavement only 14m away from Shaw Street. Whilst there are no windows on this elevation, it is somewhat unsightly and does not present a particularly attractive outlook. Given the development would be set further back into the site, and that it would be domestic in character, the separation is considered to be acceptable.

In terms of relationship of the development to houses on Rowan Drive, aspect standards would be satisfied, as would the position of plots 14 and 15 on Maxwell Street. The side elevation of the apartment block adjacent to Maxwell Street would have an oblique relationship to No 32 and there would be no direct overlooking into habitable room windows.

As such, it is considered that there would not be concerns regarding the relationship to the existing houses adjacent to the site and the development would comply with H2/1 and SPD 6.

Access and parking - Vehicular access would be directly from Deal Street, and lead into a cul de sac type arrangement with a turning area. The scale and character of the scheme is such that it is likely that less traffic, and far fewer HGV trips, would be generated than from the existing commercial and industrial business.

Pedestrian access would be via a newly created footway on both sides of the access road which would lead to the individual dwellings and the rear entrance of the apartment block.

SPD11 - Parking Standards in Bury, states the maximum provision in high access areas is 1.5 spaces for 2 bedroom properties and 1 space per 1 bed unit. The development would provide for one space per property (apart from 2 spaces for plot 2).

The site is in a highly sustainable area, with local shops and public transport links to the town centre nearby. The scheme is for relatively modest sized accommodation, which is less likely to appeal to attract 2 car ownership. The Highways Section have not objected to either the access or parking provisions. Given the sustainable location and the

deliverability of much needed Affordable Housing in the area, it is considered that the parking and access proposed is acceptable.

Ecology - An Ecological Appraisal has been submitted and GMEU consulted on the findings.

Bats - The buildings on site have been assessed for bat roosting potential. A further emergence survey was recommended by GMEU which identified the presence of a common pipistrelle bat in building 1. Whilst GMEU have not objected, a condition would be included that a license or authorisation from Natural England be obtained prior to the commencement of development.

Birds - The only other ecological consideration relates to nesting birds. GMEU have recommended that a detailed bird nest survey be carried out dependant on the timetable for demolition of the building, as well as the submission of a landscaping plan to mitigate from loss of bird nesting habitat, and these would be included as a condition of a permission.

No other significant constraints have been identified on this site which is generally of very low ecological value.

Servicing and bin storage - The bin store for the apartments would be sited to the north of the building and accessed from the pedestrian footway which runs alongside the turning head inside the development. For the dwelling houses, bins would be brought to the front of the properties for collection, apart from Plot 4 and 14 whose waste would be collected via the back roads, which are adopted.

The waste management team have raised no objection to the proposals, and advise the applicant of bin storage requirements for the apartment block.

Contributions - The development proposes 100% affordable homes for local people, which the applicant intends would be managed by a locally approved Registered Provider. At this time, the LPA is not aware that such an agreement is in place.

The applicant has stated that given the development would be for affordable housing, there is no proposal to offer a contribution to fulfill the requirements of providing recreation provision in line with SPD1. A viability appraisal has been submitted with the application in support of this, and has been assessed by the LPA.

The site will deliver 39 much needed affordable units through a registered Provider and bring further investment and regeneration into east Ward. If the scheme were to fulfill the requirements for recreation provision, it would not come forward for affordable units. As such, and on balance, it is considered that the benefits of the development scheme would offset the requirements for recreation provision in this case, and as such is considered to be acceptable.

However, to ensure that the development could only be built out for affordable housing, the applicant has agreed to enter into a S106 Legal Agreement which would secure the scheme would deliver 100% affordable housing accommodation.

Response to objectors/commentators - The personal characteristics of future tenants/occupiers is not a material planning consideration.

The back streets referred to, to the north and east of the site are outside the red edge and do not form part of the development proposals. The back street is adopted and its maintenance and upkeep is the responsibility of the Council.

Statement in accordance with Article 35(2) Town and Country Planning (Development Management Procedure) (England) (Amendment) Order 2015

The Local Planning Authority worked positively and proactively with the applicant to identify various solutions during the application process to ensure that the proposal comprised sustainable development and would improve the economic, social and environmental conditions of the area and would accord with the development plan. These were incorporated into the scheme and/or have been secured by planning condition. The Local Planning Authority has therefore implemented the requirement in Paragraphs 186-187 of the National Planning Policy Framework.

Recommendation: Minded to Approve

Conditions/ Reasons

1. The development must be begun not later than three years beginning with the date of this permission.
Reason. Required to be imposed by Section 91 Town & Country Planning Act 1990.
2. This decision relates to drawings numbered DealSt/LOC; DEALST/SLAB Rev A; DealSt/SK02 Rev D; DealSt/Boundary Rev B; DealSt/Materials Rev A; Deal St/Streetscenes Rev A; DealSt/Apt 16-39; DealSt/2B4P 70/01; DealSt/2B4P 70/02; DealSt/Wall/1; DealSt/Wall/2.1; DealSt/Railings/0.9; DealSt/Fence/CB1.8; DealSt/Railings/1.2; DealSt/Fence/1.5; DealSt/Fence/1.8; Topographical Survey MCI.TS.58; Design and Access Statement July 2015; Planning Statement July 2015; Preliminary Ecological Appraisal July 2015 UES01542/01; Bat Presence/Absence Survey 13th October 2015 UES01542/02; Crime Impact Statement Version A July 2015; PRA Summary report June 2015 and the development shall not be carried out except in accordance with the drawings hereby approved.
Reason. For the avoidance of doubt and to ensure a satisfactory standard of design pursuant to the policies of the Bury Unitary Development Plan listed.
3. No development shall commence unless and until:-
 - A contaminated land Preliminary Risk Assessment report to assess the actual/potential contamination and/or ground gas/landfill gas risks at the site shall be submitted to, and approved in writing by, the Local Planning Authority;
 - Where actual/potential contamination and/or ground gas/landfill gas risks have been identified, detailed site investigation and suitable risk assessment shall be submitted to, and approved in writing by the Local Planning Authority;
 - Where remediation/protection measures is/are required, a detailed Remediation Strategy shall be submitted to, and approved in writing by, the Local Planning Authority.Reason. The reason for pre-commencement conditions is that the information was not adequately provided at application stage. To secure the satisfactory development of the site in terms of human health, controlled waters, ground gas and the wider environment and pursuant to National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.
4. Following the provisions of Condition 3 of this planning permission, where remediation is required, the approved Remediation Strategy must be carried out to the satisfaction of the Local Planning Authority within agreed timescales; and A Site Verification Report detailing the actions taken and conclusions at each stage of the remediation works, including substantiating evidence, shall be submitted to and approved in writing by the Local Planning Authority prior to the development being brought into use.
Reason. To secure the satisfactory development of the site in terms of human health, controlled waters and the wider environment and pursuant to National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.

5. No development shall commence unless and until design details of foul and surface water drainage have been submitted to and approved by the Local Planning Authority. This must include appropriate calculations to support the chosen SuDS solution, which should be in accordance with the strategy outlined in the submitted SuDS Statement. Only the approved details shall be implemented and thereafter maintained.
Reason. The current application contains insufficient information regarding the proposed drainage scheme to fully assess the impact to ensure a satisfactory form of development and to prevent an undue increase in surface water run-off and to reduce the risk of flooding pursuant to chapter 10 - Meeting the challenge of climate change, flooding and coastal change of the NPPF.
6. No demolition or building works shall occur between the 1st March and 31st August in any year unless a detailed bird nest survey by a suitably experienced ecologist has been carried out immediately prior to such works and written confirmation provided that no active bird nests are present, which has been approved by the Local Planning Authority.
Reason. In order to ensure that no harm is caused to a Protected Species pursuant to policies EN6 – Conservation of the Natural Environment and EN6/3 – Features of Ecological Value of the Bury Unitary Development Plan and National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.
7. A landscape management plan and timetable for implementation shall be submitted to and approved by the Local Planning Authority prior to the commencement of development. The contents of the plan should include elements to mitigate for loss of bird nesting in the form of nesting opportunities for house sparrow. The approved plan shall be implemented in accordance with the approved details. Any trees or shrubs removed, dying or becoming severely damaged or becoming severely diseased within five years of planting shall be replaced by trees or shrubs of a similar size or species to those originally required to be planted to the written satisfaction of the Local Planning Authority.
Reason. Details have not been submitted with the application to secure the satisfactory development of the site and in the interests of visual amenity pursuant to Policy EN1/2 - Townscape and Built Design and EN8/2 – Woodland and Tree Planting of the Bury Unitary Development Plan.
8. No development shall commence unless and until:
 - a) a license issued by Natural England pursuant to Regulation 53, of the Conservation of habitats and Species Regulations 2010 authorising the specified activity/development go ahead: or
 - b) a statement in writing from the relevant licensing body to the effect that it does not consider that the specified development will require a license;has been submitted to and approved by the Local Planning Authority
Reason. The information has not been submitted at the time of the application in order to ensure that no harm is caused to a Protected Species pursuant to policies EN6 – Conservation of the Natural Environment and EN6/3 – Features of Ecological Value of the Bury Unitary Development Plan and Section 11 of the National Planning Policy Framework.
9. Notwithstanding proposed materials shown on plan number DealSt/Materials, all samples of the proposed materials to be used in the external elevations, together with details of their manufacturer, type/colour and size, shall be submitted to and approved in writing by the Local Planning Authority before the development is commenced. Only the approved materials shall be used for the construction of the development.
Reason. No material samples have been submitted and are required in the interests of visual amenity and to ensure a satisfactory development pursuant to UDP Policy EN1/2 Visual Amenity.

10. Notwithstanding the details indicated on the approved site layout plan, no development shall commence unless and until full details of the following have been submitted to and approved in writing by the Local Planning Authority:
- Formation of the proposed site access onto Deal Street and new footway crossings onto Maxwell Street;
 - Proposed estate road and turning head and associated swept path analysis;
 - Reinstatement of all redundant accesses around the perimeter of the site and all associated highway remedial works;
 - Full reconstruction of the easterly Deal Street footway abutting the site;
 - Full reconstruction of the footways abutting the site along the northerly and easterly site boundaries;
 - All alterations to the existing traffic calming affected by the new vehicular access arrangements;
 - Street lighting scheme for the proposed residential development and any alterations/improvements to existing street lighting required at the junction of the proposed site access with Deal Street;

The details subsequently approved shall be implemented to an agreed programme.

Reason. Details have not been submitted at application stage to ensure good highway design and maintain the integrity of the adopted highway in the interests of highway safety pursuant to Bury Unitary Development Plan Policies H2/2 - The Layout of New Residential Development, EN1/2 - Townscape and Built Design and HT6/2 - Pedestrian/Vehicular Conflict.

11. No development shall commence unless and until a 'Construction Traffic Management plan' (CTMP), has been submitted to and approved in writing by the Local Planning Authority. The approved plan shall be adhered to throughout the construction period and shall provide for:
- Access route for construction traffic from the adopted highway;
 - Temporary warning/speed limit signage on the access route;
 - Hours of operation and number of vehicle movements;
 - Arrangements for the turning and manoeuvring of vehicles within the curtilage of the site.

Reason. Details not submitted at application stage to ensure mitigation of the impact of the construction traffic generated by the proposed development on the adjacent streets, in the interests of highway safety, pursuant to Bury unitary Development Plan Policies EN1/2 - Townscape and Built Design, HT2/4 - Car Parking and Servicing and HT6/2 - Pedestrian/Vehicular Conflict.

12. The footway visibility splays indicated on the approved plans shall be implemented before the development is first occupied and subsequently maintained free of obstruction above the height of 0.6m

Reason. To ensure the intervisibility of the users of the site and the adjacent highways in the interests of road safety pursuant to Bury Unitary Development Plan Policy HT6/2 - Pedestrian/Vehicular Conflict and EN1/2 - Townscape and Built Design.

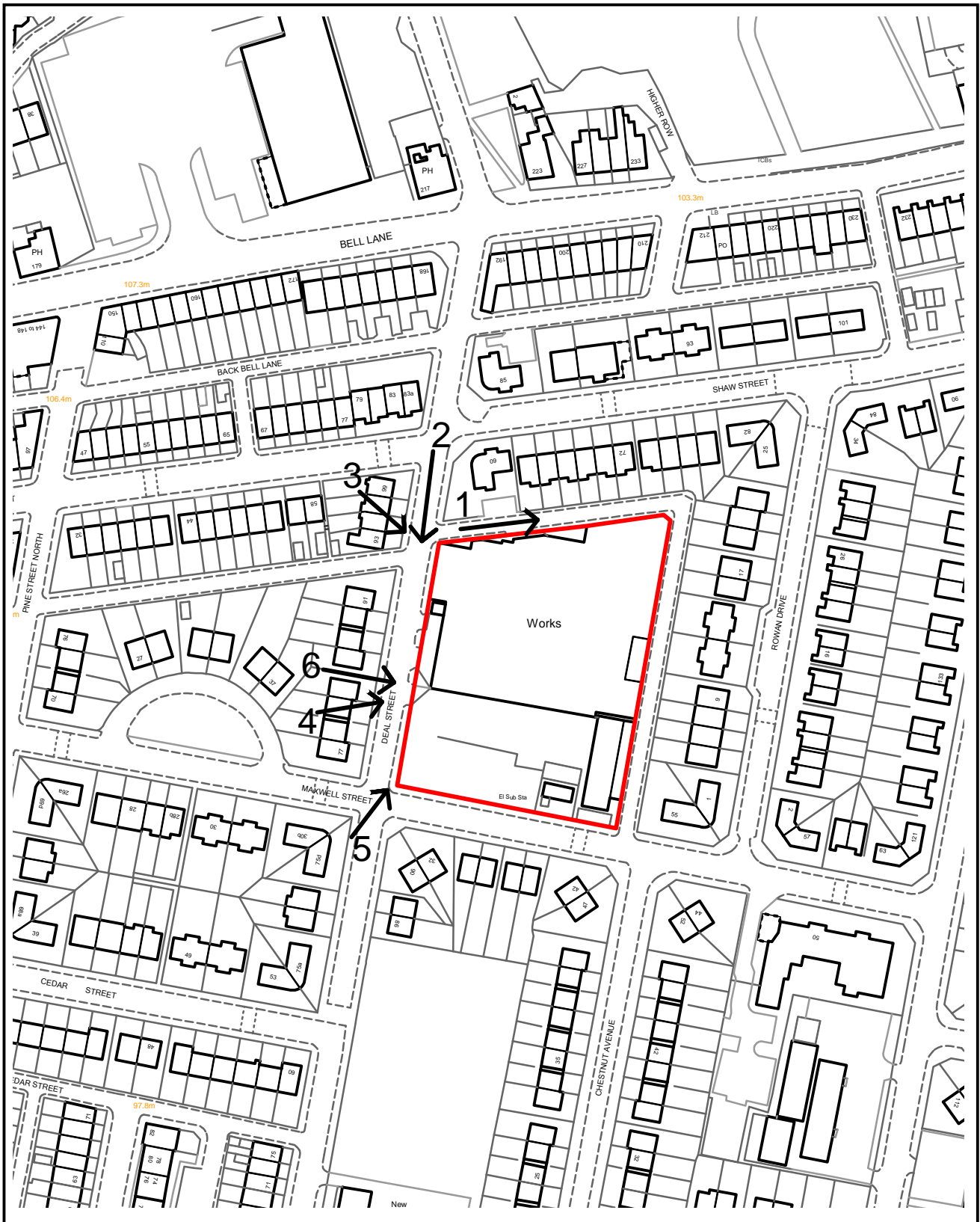
13. The turning facilities indicated on the approved plans shall be provided before the development is first occupied and shall subsequently be maintained free of obstruction at all times.

Reason. To minimise the standing and turning movements of vehicles on the highway in the interests of road safety pursuant to Bury Unitary Development Plan Policies H2/2 - The Layout of New Residential Development, EN1/2 - Townscape and Built Design and HT6/2 - Pedestrian/Vehicular Conflict.

14. Minimum hard standing lengths of 5m at dwellings abutting the existing and proposed adopted highway shall be provided and thereafter maintained.
Reason. To allow adequate space to maintain a vehicle clear of the highway in the interests of pedestrian safety pursuant to Policy H2/2 - The Layout of New Residential Development of the Bury Unitary Development Plan.
15. The car parking on the approved plan shall be surfaced, demarcated and made available for use prior to the part of the development hereby approved to which it relates being occupied and thereafter maintained at all times.
Reason. To ensure adequate off street car parking provision in the interests of road safety pursuant to policy HT2/4 - Car Parking and New Development of the Bury Unitary Development Plan.
16. Before the development is commenced, details shall be submitted to and approved by the Local Planning authority to ensure there is provision to be made for the parking on site of operatives' and construction vehicles, together with storage on site of construction materials. The provision shall be retained and used for the intended purpose for the duration of the construction period and the areas identified shall not be used for any other purposes other than the parking of vehicles and storage of construction materials respectively.
Reason. Details have not been submitted at application stage to ensure adequate off street car parking provision and materials storage arrangements for the duration of the construction period, in the interests of highway safety pursuant to Bury Unitary Development Plan Policies EN1/2 - Townscape and Built Design.
17. No development shall commence unless and until details have been submitted to and approved by the Local planning Authority to cover measures to ensure that all mud and other loose materials are not carried on the wheels and chassis of any vehicles leaving the site and measures to minimise dust nuisance caused by operations. the approved details shall be implemented and maintained thereafter during the period of construction.
Reason. The application does not contain details to ensure that the adopted highways are kept free of deposited material from the ground works operations pursuant to Bury unitary Development plan Policy EN1/2 - Townscape and Built Design.

For further information on the application please contact **Jennie Townsend** on **0161 253-5320**

Viewpoints



PLANNING APPLICATION LOCATION PLAN

APP. NO 58985

ADDRESS: Site of Hartshead Works, Deal Street
Bury



Planning, Environmental and Regulatory Services 1:1250

(C) Crown Copyright and database right (2015). Ordnance Survey 100023063.

58985

Photo 1



Photo 2



58985

Photo 3



Photo 4



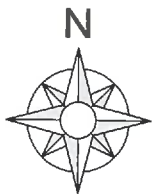
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Photo 5



Photo 6





SCHEDULE OF ACCOMMODATION

TYPE	BED ACCOMMODATION / DWELLING TYPE	STOREY HEIGHT	No. OF UNITS
2B4P 70	2 BED 4 PERSON - HOUSE	2	15
APT 2B3P	2 BED 3 PERSON - APARTMENT	3	12
APT 1B2P	1 BED 2 PERSON - APARTMENT	3	12
TOTAL NO. OF DWELLINGS			39

DRAWING LEGEND

- Site Boundary
- 2.1m Brick Wall & Piers
- 1.8m Close Boarded Timber Screen Fence
- 1.8m Feathered Edge Timber Screen Fence
- 1.5m Feathered Edge Timber Screen Fence
- 1.2m Bow Top Steel Railing With Litter Guard
- 0.9m Bow Top Steel Railing With Litter Guard
- Existing Retaining Wall With 1.2m Bow Top Steel Railing And Litter Guard Above (to give continuous height along Deal Street with new railings)
- Existing Brick Wall Boundaries Cropped to 1.8m and Capped with Coping (where possible) - Walls to be made good where necessary. Wall to receive Anti Graffiti treatment.
- 1.8m Timber Gate
- Bin Storage Area with Flagging Beneath (Storage for 3 Bins)
- Communal Timber Bin Store Serving Apartments - Plots 16 to 27 & 28 to 39
- Visibility Splays 2.4 x 22m Inline with Manual for Streets (20mph zone)



REV	DATE	DRAWN	DESCRIPTION	ARCH CHECK	ENG CHECK
D	14.06.15	GWH	Interface distance to Plot 2 increased & indicated at 20m to No.93 Deal Street.		
C	20.06.15	GWH	Turning head updated. Visibility splays added.		
B	13.08.15	GWH	Apartment bin stores relocated. Turning head size amended and extension in front of Plot 6 to 9.		
A	31.07.15	GWH	LAYOUT updated inline with Crime Impact Statement as follows: Boundary treatments updated, new vehicular gates added to Plots 1 & 2, Plot 10 parking space relocated & note added in reference to pedestrian gates.		

TITLE

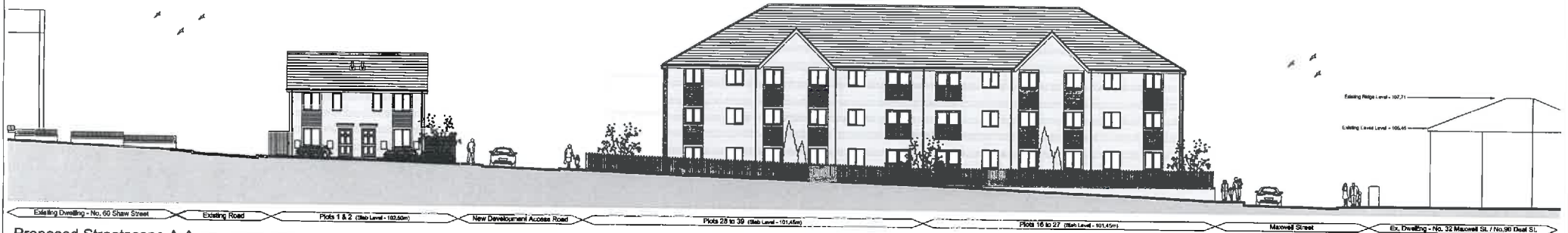
PLANNING LAYOUT

M.C.I. Developments Ltd.
1 Beecham Court,
Smithy Brook Road,
Wigan, WINS 0PR.
tel: 06446871487
fax: 06446871489
web: www.mciddevelopments.com
email: admin@mcidevelopments.com

PROJECT

DEAL STREET, BURY

DRN BY	SCALE	JOB REF	DRAWING NUMBER	REV
GWH	1:500 @ A3	-	DealSt / SK02	D
DATE				
June 15				



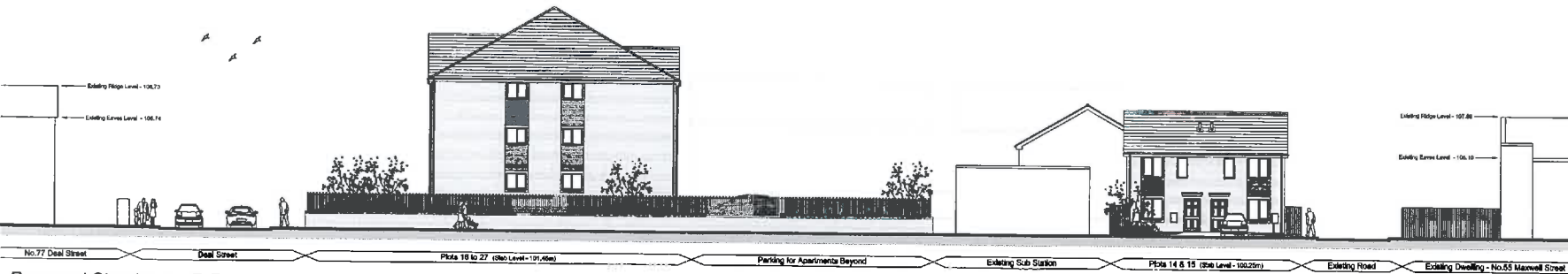
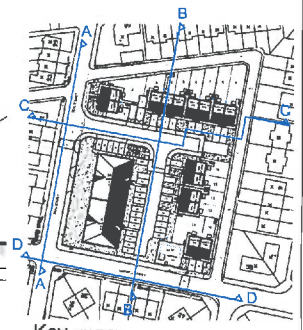
Proposed Streetscene A-A (Scale 1:100 @ A0)



Proposed Streetscene / Section B-B (Scale 1:100 @ A0)




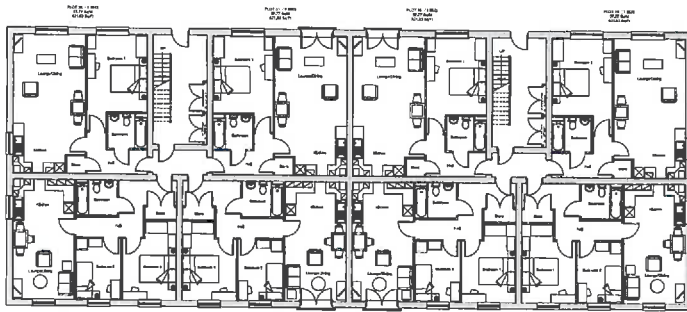
Proposed Streetscene / Section C-C (Scale 1:100 @ A0)



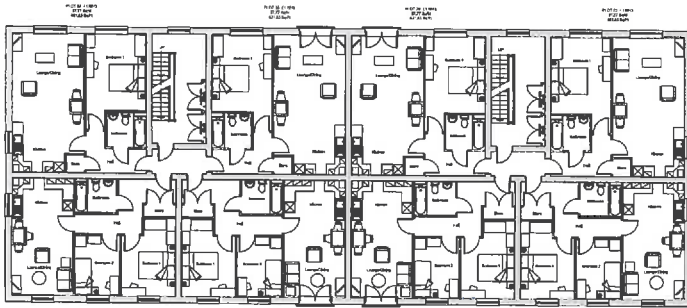
Proposed Streetscene D-D (Scale 1:100 @ A0)



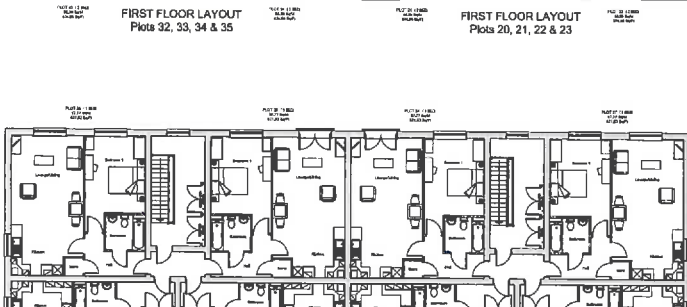
REV	DATE	BY	CHKD	DESCRIPTION	APPROV	PROJ
A	25.06.15	GWH	BAO	Updated to latest layout.		
B						
C						
D						
E						
F						
G						
H						
I						
J						
K						
L						
M						
N						
O						
P						
Q						
R						
S						
T						
U						
V						
W						
X						
Y						
Z						
TITLE						
STREETSCENES / SITE SECTIONS						
 M.C.I. Developments Ltd. 1 Beacon Court, Salford Brook Road, Wigan, WN3 9PR Tel: 08448271687 Fax: 08448271688 www.mciddevelopments.com email: info@mciddevelopments.com						
PROJECT						
DEAL STREET, BURY						
DRN BY	GWH	SCALE	1:100	DESIGNED BY	BAO	REV
DATE	June 15	DATE	BAO	DATE	DealSI / Streetscenes	A



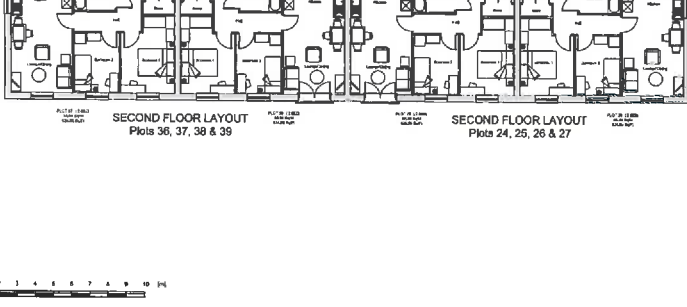
GROUND FLOOR LAYOUT
Plots 28, 29, 30 & 31



GROUND FLOOR LAYOUT
Plots 16, 17, 18 & 19



FIRST FLOOR LAYOUT
Plots 32, 33, 34 & 35



FIRST FLOOR LAYOUT
Plots 20, 21, 22 & 23

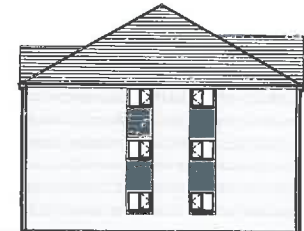


SECOND FLOOR LAYOUT
Plots 36, 37, 38 & 39

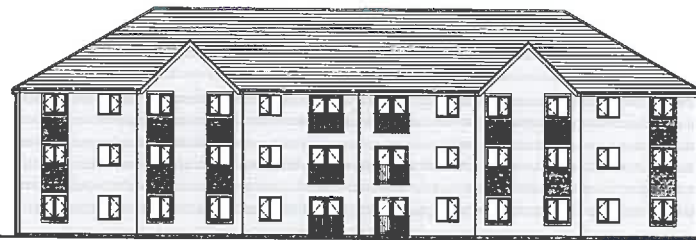
SECOND FLOOR LAYOUT
Plots 24, 25, 26 & 27



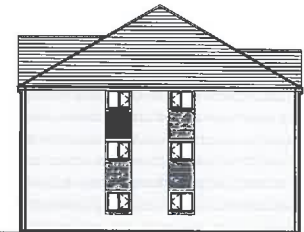
FRONT ELEVATION - PARKING COURT



SIDE ELEVATION - SITE ENTRANCE



REAR ELEVATION - DEAL STREET



SIDE ELEVATION - MAXWELL STREET

M 1:100
0 1 2 3 4 5 6 7 8 9 10 M

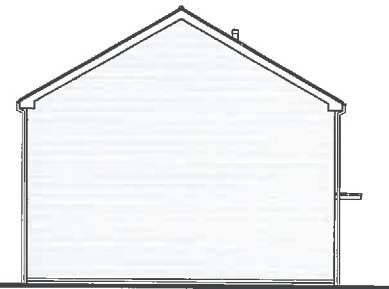
REV	DATE	DRAWN	DESCRIPTION	AUTH	CHK
TITLE					
APARTMENTS - PLOTS 16 to 39					
12 x 1 BED & 12 x 2 BED					
PLANNING DRAWING					
			M.C.I. Developments Ltd. 1 Sanderson Court, Sibley Brook Road, Woking, Wokingham, Hants, RG40 2JG Tel: 01488711417 Fax: 01488711449 www.mcidevelopments.com email: admin@mcidevelopments.com		
PROJECT					
DEAL STREET, BURY					
DRN BY	SCALE	A00 REF	DRAWING NUMBER	REV	
GWH	1:100	-	DealSt / Apt 16-39	-	
DATE	June 15	0A0			



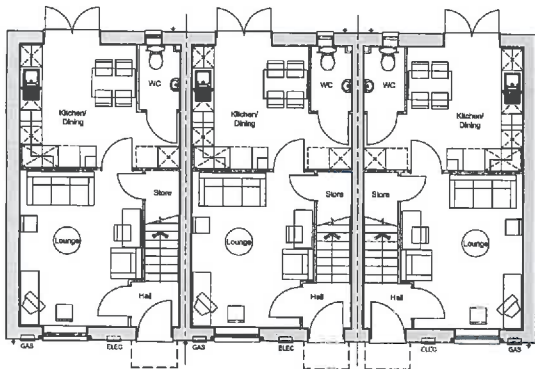
FRONT ELEVATION



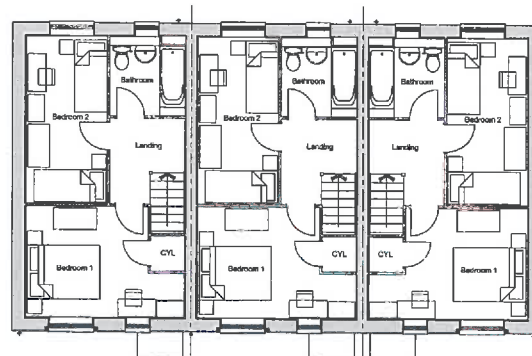
REAR ELEVATION



SIDE ELEVATION



GROUND FLOOR
2 BED 4 PERSON (70)
PLOTS 3 to 5



FIRST FLOOR



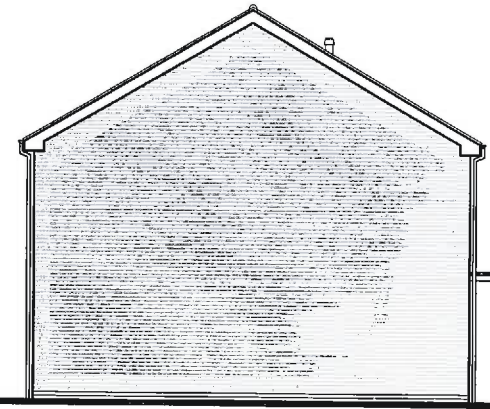
REV	DATE	DRAWN	DESCRIPTION	ARCH CHECK	ENG CHECK
<p>TITLE 2 BED 4 PERSON (2B4P 70) - 3 BLOCK PLANNING HOUSETYPE DRAWING</p>					
			<p>M.C.I. Developments Ltd. 1 Beecham Court, Smalby Brook Road, Widjan, WINDSOR tel: 06448271467 fax: 06448271468 web: www.mcidevelopments.com email: admin@mcidevelopments.com</p>		
<p>PROJECT DEAL STREET, BURY</p>					
DRN BY	SCALE	JOB REF	DRAWING NUMBER		REV
DATE	June 15	GWH	1:100	DealSt1/2B4P 70 / 02	-
		@ A2			



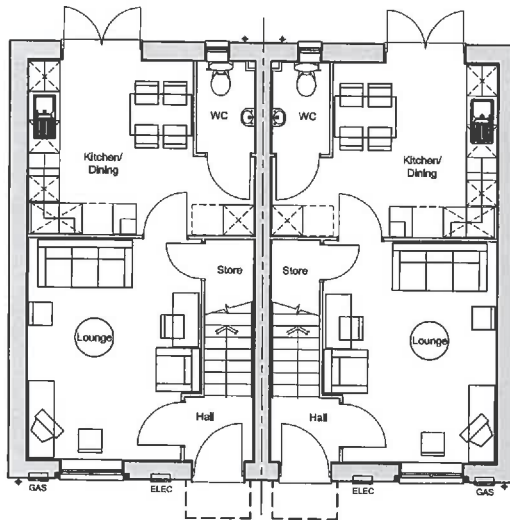
FRONT ELEVATION



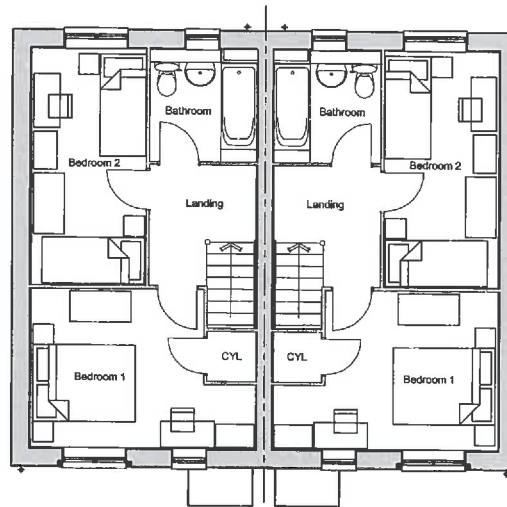
REAR ELEVATION



SIDE ELEVATION




GROUND FLOOR
2 BED 4 PERSON (70)
PLOTS 1-2, 6-7, 8-9, 10-11, 12-13 & 14-15



FIRST FLOOR



REV	DATE	DRAWN	DESCRIPTION	BY
TITLE				
2 BED 4 PERSON (2B4P 70) - SEMI PLANNING HOUSETYPE DRAWING				
			M.C.I. Developments Ltd. 1 Beecham Court, Smalley Brook Road, Wigan, WNG 6PR Tel: 05446671467 Fax: 05446671459 web: www.mciddevelopments.com email: admin@mcidevelopments.com	
PROJECT				
DEAL STREET, BURY				
DRN BY	GWH	SCALE	JOB REF	DRAWING NUMBER
DATE	June 15	1:100 @ A3	-	DealSt / 2B4P 70 / 01
REV	-	-	-	-

Ward: Whitefield + Unsworth - Besses

Item 03

Applicant: Mr Ali Khan

Location: 116 Bury New Road, Whitefield, Manchester, M45 6AD

Proposal: Retrospective application for change of use of part of ground floor from offices (A2) to taxi booking office (Sui Generis)

Application Ref: 59051/Full

Target Date: 25/09/2015

Recommendation: Approve with Conditions

This application was deferred at the meeting on 29 September 2015 for a site visit.

Description

The site is part of a two storey brick building located at the end of a row of terraces on York Street. The front elevation faces on to Bury New Road and has a glazed shop front and entrance. Immediately outside is a controlled crossing. The adjoining premises is commercial and the site is within Whitefield District Centre. There are residential properties to the rear terraced streets and directly opposite.

The application is retrospective and relates to the ground floor which is being operated as a private hire booking office. The service is for telephone bookings only with no customers or private hire drivers visiting. The business operates 24 hours a day with 2 full time staff and 3 part time.

Relevant Planning History

20178/87 – Change of use from shop/living accommodation to 2 No. shop units with offices over and new shop fronts at 116 & 116A Bury New Road, Whitefield. AC -12/11/87.

48509 - Change of use of ground floor from shop (Use Class A) to Estate Agency (Use Class A2); Modification of external elevation - AC 02/10/07.

59052 - Retrospective application for retention of 1 no. non-illuminated hoarding sign on front elevation - Refused 08/09/15.

Publicity - 28 notification letters were sent to addresses at 114, 114A, 116, 118, First Floor 118, 120, 155, 155A, 157, 159, 161, 163, 165, Flats 1&2 165 Bury New Road, Higher Lane County Primary. Wilson & Garden Ltd, York Street, Photo & Optical York Street. 1,1A,2,3,4 York Street, 3-9 Livsey Street.

Two objections have been received from 157 & 159 Bury New Road their concerns in summary are:-

- Since the office opened, on street parking on Egerton Road, which was difficult, has become almost impossible.
- Taxis park on both sides of Egerton Road blocking the path. There are saloon cars and 8 & 14 seat mini buses.
- A residents parking scheme may help.
- There have been drivers outside at all hours and drunken customers waiting outside at weekends.
- This is planning permission via the back door and very underhand by both the business and the Council.
- Vehicles park on the pavement next to the fence to No.157 restricting maintenance to the property.
- A large advertising board has been erected opposite the window to No.157 which is

inappropriate and the largest sign on Bury New road. It brings down the value of the property.

- One side of No.157 overlooks a massage parlour with boarded windows. In 30 years nothing positive has been done. Who approved this mess ?

The objectors have been notified of the Planning Control Committee meeting.

Consultations

Traffic Section - No objection.

Unitary Development Plan and Policies

HT2/8	Taxi and Private Hire Businesses
S1/3	Shopping in District Centres
S2/4	Control of Non-Retail Uses in All Other Areas
EC4/1	Small Businesses
HT2/4	Car Parking and New Development

Issues and Analysis

The following report includes analysis of the merits of the application against the relevant policies of both the National Planning Policy Framework (NPPF) and the adopted Bury Unitary Development Plan (UDP) together with other relevant material planning considerations. The policies of the UDP that have been used to assess this application are considered to be in accordance with the NPPF and as such are material planning considerations. For simplicity, just the UDP Policy will be referred to in the report, unless there is a particular matter to highlight arising from the NPPF where it would otherwise be specifically mentioned.

Policy - Policy S2/4 states that outside the main shopping area of town and district centres, changes of use from a retail shop to a non-retail use will be permitted, subject to the proposal being appropriate in scale and character to the area and the proposal should not result in an over concentration or grouping of uses. The proposal should retain the display window and allow for access for the mobility impaired. Adequate servicing and parking should be provided.

UDP Policy HT2/8 - Taxi and Private Hire Businesses states that proposals for taxi or private hire businesses will be looked upon favourably providing that adequate car parking is provided for employees and vehicles used in connection with the business, there will not be an unacceptable adverse effect on the amenities of neighbouring residents or occupiers or the local highway network, in terms of road safety and traffic circulation.

The site is not located within either the primary or secondary shopping area of the district centre and would not result in the loss of an A1 use with previous permission for A2 granted. It would not lead to an over-concentration of the use and as a sui generis use any further change would require an application and allow further assessment.

The premises has an existing shop front and display window which would maintain an active frontage. The restriction on the customers visiting the premises would mean that the use would not rely on or create any footfall. However the unit is located towards the end of what is a large district centre and it would provide a service that would be appropriate within a local area. Therefore, it is considered that the proposed development would not harm the vitality and viability of the district centre and would not conflict with the aims of Policies S1/3 and S2/4 of the adopted Unitary Development Plan.

Parking and Access - There is no dedicated parking to the premises. The private hire vehicles are owned by the drivers themselves and kept at their own residences at the end of a shift. All fees due to the office by the drivers are collected from their residences. With no visiting customers, only the booking staff would be at the premises. The number

employed would be similar to that of a retail use where parking would have to be on street within the area or staff make use of public transport which the area has high level access to. Also the site has benefit of a lawful A2 use where it would be expected that staff would generate some level of traffic.

The front entrance does not have disabled access and the agent has stated that it would not be practical to modify it. However there are no visiting members of the public proposed for the scheme.

Visual amenity - No external alterations are proposed. The frontage has a glazed window with a fascia sign above the shop. The board sign adjacent the entrance was refused under a separate advert application and has now been removed. As such it is not considered that the proposed development would look out of place within the locality.

Residential amenity - The use would operate 24 hours. With the business based on telephone bookings and without customers or hire car drivers visiting the premises, the use is not one that would give rise to any noise or disturbance above the existing activity within the district centre. This system of operation would be reinforced by a condition restricting the use to telephone bookings and restricting customer and driver facilities on the premises. The proposed development would be in accordance with the UDP Policies listed.

Response to objection - The issues relating to noise and traffic are addressed in the above report.

On street parking and residents parking schemes are not matters under planning control. The large advertising board refused under application 59052 and has now been removed.

Statement in accordance with Article 35(2) Town and Country Planning (Development Management Procedure) (England) (Amendment) Order 2015

The proposal complies with the development plan and would improve the economic, social and environmental conditions of the area. It therefore comprises sustainable development and the Local Planning Authority worked proactively and positively to issue the decision without delay. The Local Planning Authority has therefore implemented the requirement in Paragraphs 186-187 of the National Planning Policy Framework.

Recommendation: Approve with Conditions

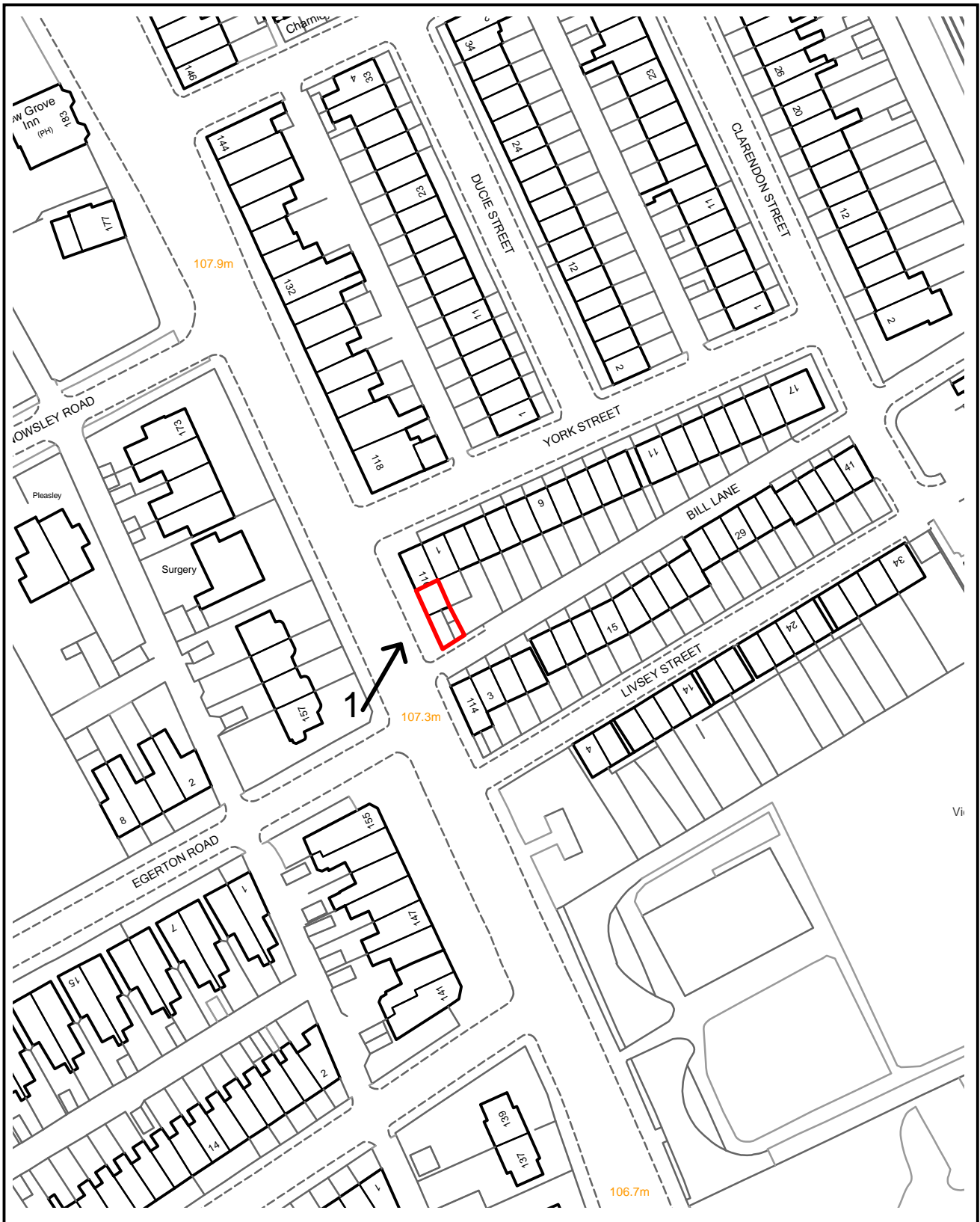
Conditions/ Reasons

1. This decision relates to drawings numbered Sheet 1, Sheet 2 and the development shall not be carried out except in accordance with the drawings hereby approved.
Reason: For the avoidance of doubt and to ensure a satisfactory standard of design pursuant to the policies of the Bury Unitary Development Plan listed.
2. The use hereby approved shall be limited solely to telephone bookings. There shall be no facilities at the premises for customer pick up, driver waiting or rest and refreshment.
Reason: The use relies upon on-street parking and therefore in the interests of residential amenity and highway safety pursuant to UDP Policy HT2/8 Taxi and Private Hire Businesses.
3. No private hire vehicles belonging to the applicant or those belonging to freelance drivers operating through the communications system at the premises, shall attend the office hereby permitted, including for the purposes of waiting or taking orders and instruction, collecting clients or for the purpose of taking refreshment.
Reason: The use relies upon on-street parking and therefore in the interests of residential amenity and highway safety pursuant to UDP Policy HT2/8 Taxi and

Private Hire Businesses.

For further information on the application please contact **Jane Langan** on **0161 253 5316**

Viewpoints



PLANNING APPLICATION LOCATION PLAN

APP. NO 59051

**ADDRESS: 116 Bury New Road
Whitefield**



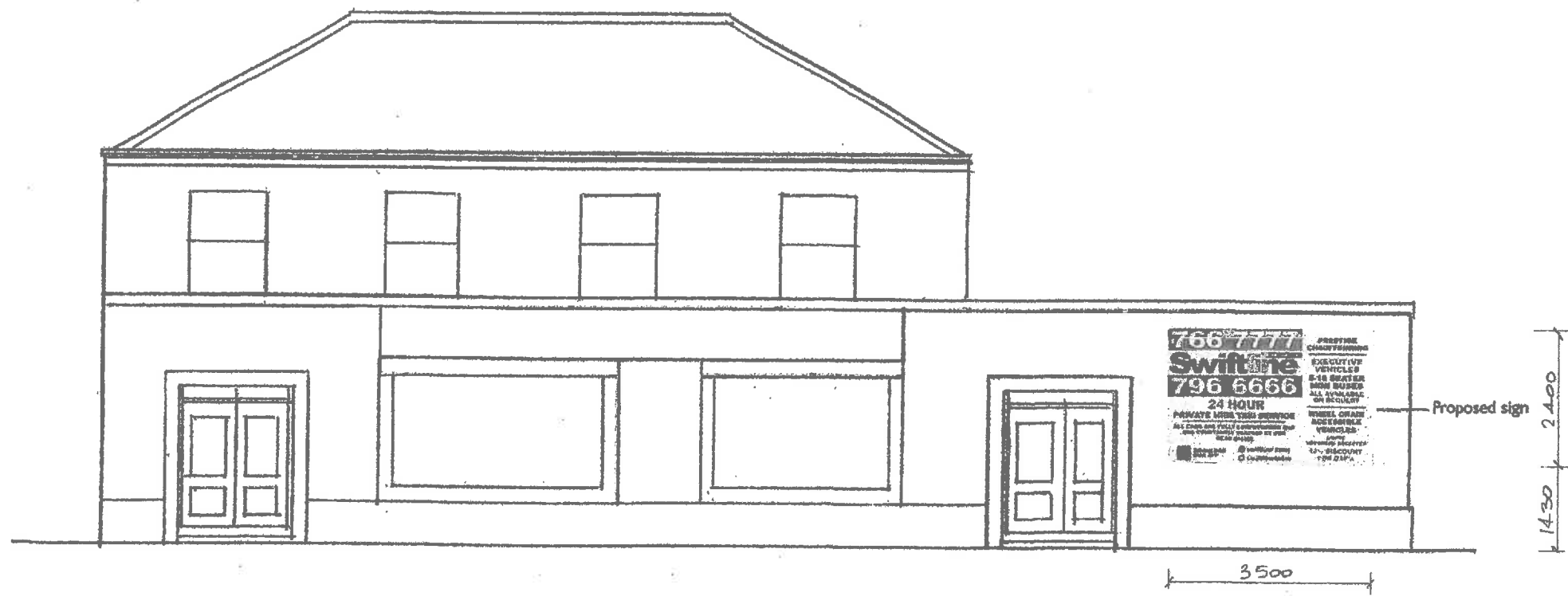
Planning, Environmental and Regulatory Services 1:1250

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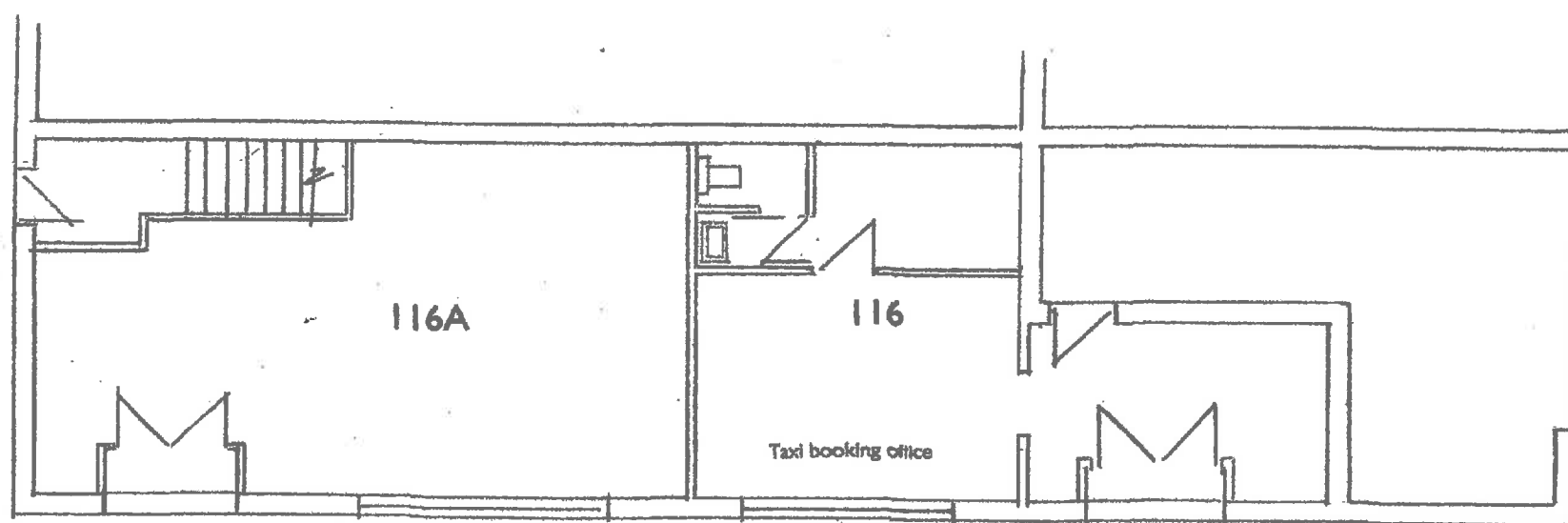
59051

Photo 1

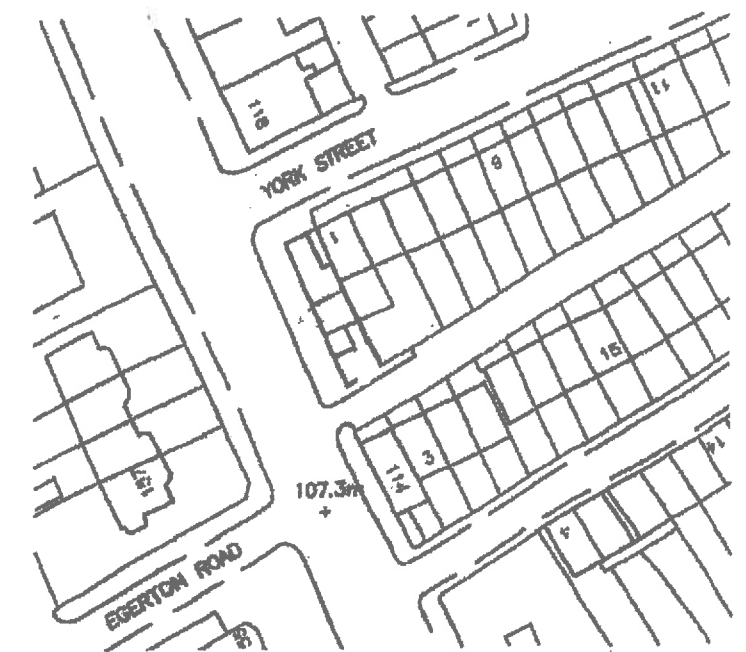




Proposed Existing Front Elevation



Proposed Ground Floor Plan



Thompson Designs
 Tel 0161 705 1458 Mob 07884 318634
 Sheet 2
 Proposed Plans & Elevations
 116 Bury New Road
 Whitefield M45 6AD
 Scale 1 : 100 Date July 2015

Ward: Bury East

Item 04

Applicant: Bury Art Museum

Location: Bury Art Gallery, Moss Street, Bury, BL9 0DF

Proposal: Listed building consent to extend the temporary consent for sculptures installed in the alcoves at the front of the sculpture centre and library entrance to 5 years

Application Ref: 59111/Listed Building Consent

Target Date: 13/10/2015

Recommendation: Approve with Conditions

Description

The application relates to the Central Library, Sculpture Centre, Museum and Art Gallery in Bury, which is a Grade II Listed Building located within the Bury Town Centre Conservation Area. The adjacent building to the south is Textile Hall which is linked by a corridor to the library. The building is located at the corner of Moss Street and Silver Street and the art gallery and museum front onto Moss Street.

The building is an example of a neo-classical design and architecture dating back to 1901. It is two storey and constructed in stone blocks and ashlar with a multi hipped slate roof and has a basement level containing the museum and archives which is accessed from Moss Street. The main entrance to the library/sculpture centre is not the original lobby, it was added to the building around the late 1970's, and is accessed off Manchester Road via a set of stone steps with handrails.

Following the grant of listed building consent for internal alterations in January 2014, part of the library now forms the sculpture centre.

The site is bounded by several listed buildings - St Mary's Place, Manchester Road, St Marie's RC Church, the Art Picture House, the former Barclays Bank, the Fusiliers Museum and the war memorial.

Listed building consent was granted in September 2014 for the installation of 2 metal sculptures within the alcove to each side of the entrance to the library and sculpture centre for a period of 12 months. The sculptures were 'free-form' in design and are constructed from a powder coated aluminium frame with lightweight floral elements in a range of bright colours attached. Each of the sculptures are fixed to 2 points in the alcove and each fixing consists of 3 metal studs.

The proposed development involves the retention of the 2 existing sculptures for a period of 5 years, which would result in their removal on 3 September 2019. The reason given for the extension is that the sculptures have played an important role in highlighting the Irwell Sculpture Trail and in guiding visitors to the exhibitions and venue.

Relevant Planning History

43990 - Listed building consent - neon text artwork on gable wall fronting Back Knowsley Street 3.3 metres long by 0.23 metres deep at Bury Art Gallery, Moss Street, Bury. Approved with conditions - 18 March 2005.

52443 - Replacement of existing main entrance doors and frame; replacement of 4 windows to right hand gable elevation; pointing and new rainwater goods at Public Library, Art

Gallery and Museum, Moss Street, Bury. Approved with conditions - 28 May 2010

52535 - Listed building consent for the replacement of existing main entrance doors and frame; replacement of 4 windows to right hand gable elevation; pointing and new rainwater goods at Public Library, Art Gallery and Museum, Moss Street, Bury. Approved with conditions - 28 May 2010

56987 - Listed building consent - Schedule of works include; stud partitions removed, new stud walls between archways, curved partition wall creating new entrance corridor for library, automated single door and set of double doors installed between library and sculpture centre, uplifting carpet tiles and reinstate original parquet floor, new carpet tiles to new library area, new led spotlighting to sculpture area, decoration throughout at Bury Central Library, Manchester Road, Bury. Approved with conditions - 22 January 2014.

57725 - Listed building application for installation of temporary sculpture (12 months) in alcoves at front of sculpture centre and library entrance at Bury Art Museum, Moss Street, Bury. Approved with conditions - 3 September 2014.

Publicity

The neighbouring properties were notified by means of a letter on 20 August and a press notice was published in the Bury Times on 27 August. Site notices were posted on 19 August 2015.

1 letter has been received from Bury Unitarian Church, which has raised the following issues:

- The church building and gardens look towards the sculptures and we consider that the sculptures are too large for the alcoves in which they have been placed.
- The sculptures do not match the architecture of the building and are incongruous.

The objector has been notified of the Planning Control Committee meeting.

Consultations

Ancient Monuments Society - No response.

Council for British Archaeology - No response.

The Georgian Group - No response.

Society for the Protection of Ancient Buildings - No response.

The 20th Century Society - No response.

The Victorian Society (London) - No response.

Unitary Development Plan and Policies

NPPF National Planning Policy Framework

EN2/1 Character of Conservation Areas

EN2/2 Conservation Area Control

EN2/3 Listed Buildings

Issues and Analysis

The following report includes analysis of the merits of the application against the relevant policies of both the National Planning Policy Framework (NPPF) and the adopted Bury Unitary Development Plan (UDP) together with other relevant material planning considerations. The policies of the UDP that have been used to assess this application are considered to be in accordance with the NPPF and as such are material planning considerations. For simplicity, just the UDP Policy will be referred to in the report, unless there is a particular matter to highlight arising from the NPPF where it would otherwise be specifically mentioned.

Design and impact upon the listed building - The NPPF states that when determining applications for heritage assets, local planning authorities should take account of:

- the desirability of sustaining and enhancing the significance of the heritage assets and putting them to viable uses consistent with their conservation;

- the positive contribution that conservation of heritage assets can make to sustainable communities including their economic vitality; and
- the desirability of new development making a positive contribution to local character and distinctiveness.

When considering the impact of a proposal on the 'significance of a designated heritage asset', great weight should be given to the asset's conservation. The more important the asset, the greater the weight should be. 'Significance' can be harmed or lost through alteration or destruction of the heritage asset or development within its setting. As heritage assets are irreplaceable, any harm or loss should require clear and convincing justification.

Therefore, in order to assess the impact of the proposed development upon the listed building, the significance and appearance of the building must be assessed first.

The building is of grand neo-classical design with two main, highly detailed and decorated elevations to Silver Street and Moss Street. The Moss Street entrance provides access to the art gallery and the Silver Street entrance provides access to the newly completed sculpture centre and library. The building comprises two tall storeys with a basement level set in a well, and this level contains the museum and archive. The building is square in form and is constructed in stone blocks of both plan and rusticated ashlar, with a slate covered multi-hipped roof. The ground floor level is set above street level and is accessed by stone steps.

The Silver Street elevation is symmetrical, with two projecting bays containing ionic columns, cruciform windows, strong string courses, decorated friezes and figures and above eaves level, these are topped by tall bays with decorated pediments with balconies and balustrades. Between the bays is a central entrance set forward of the first floor and formed from a three arch arcade with a central doorway and alcoves to each side with balustrades.

Therefore, the significance of the building is in:

- The completeness of the building's exterior design and level of preservation;
- The building's scale and impact on the streetscene;
- It's neo-classical detailing and level of decoration;
- The Victorian interpretation of classical orders and novel re-working of traditional design combinations;
- It's contribution to the character of the area through its location, impact and relationship with other buildings of the 19th/20th century.

The proposed development would consist of the retention of two sculptures which are currently located within the alcoves to the sides of the entrance on Silver Street. The proposed artwork is modern in design and as such, would represent a departure from the traditional design of the building.

Paragraph 58 of the NPPF states that 'developments should respond to local character and history, and reflect the identity of local surroundings and materials, while not preventing or discouraging appropriate innovation.'

The artwork is striking and modern in design but would represent appropriate innovation detailed within paragraph 58. The modern sculptures make it clear that these are a modern addition to the building but not so large and are so located to enable the building behind to be read. The artwork is located within the alcoves and as such, are not be visible from the wider streetscene views of the building and Conservation Area. The artwork announces the location and function of the sculpture centre, which has secured the use of the listed building and has had a positive impact upon the Cultural Quarter of the town centre. The proposed development would involve the retention of the artwork for a 5 year period and as such, without permanent damage or impact upon the design and character of the listed building.

The proposed sculptures would be attached to the building at two points by a bracket with 3

screws. As such, the impact of the proposed development upon the fabric of the listed building would be localised to 12 holes from screws in the short term. The proposed development states that these holes would be made good with mortar to match the stonework, which would be controlled by a condition. Therefore, the proposed development would not cause any long term damage to the fabric of the building.

Therefore, the proposed development would represent an addition to the building, but would preserve and enhance the character of the Grade II listed building and the conservation area. The proposed development would be in accordance with Policy EN1/2, EN2/1, EN2/2 and EN2/3 of the Bury Unitary Development Plan and the NPPF.

Statement in accordance with Article 35(2) Town and Country Planning (Development Management Procedure) (England) (Amendment) Order 2015

The Local Planning Authority offered solutions to the applicant in order to make the development acceptable. The applicant was however unwilling to amend the plans. Without these amendments the development would not improve the economic, social and environmental conditions of the area and therefore does not comprise sustainable development. The Local Planning Authority has therefore implemented the requirement in Paragraphs 186-187 of the National Planning Policy Framework.

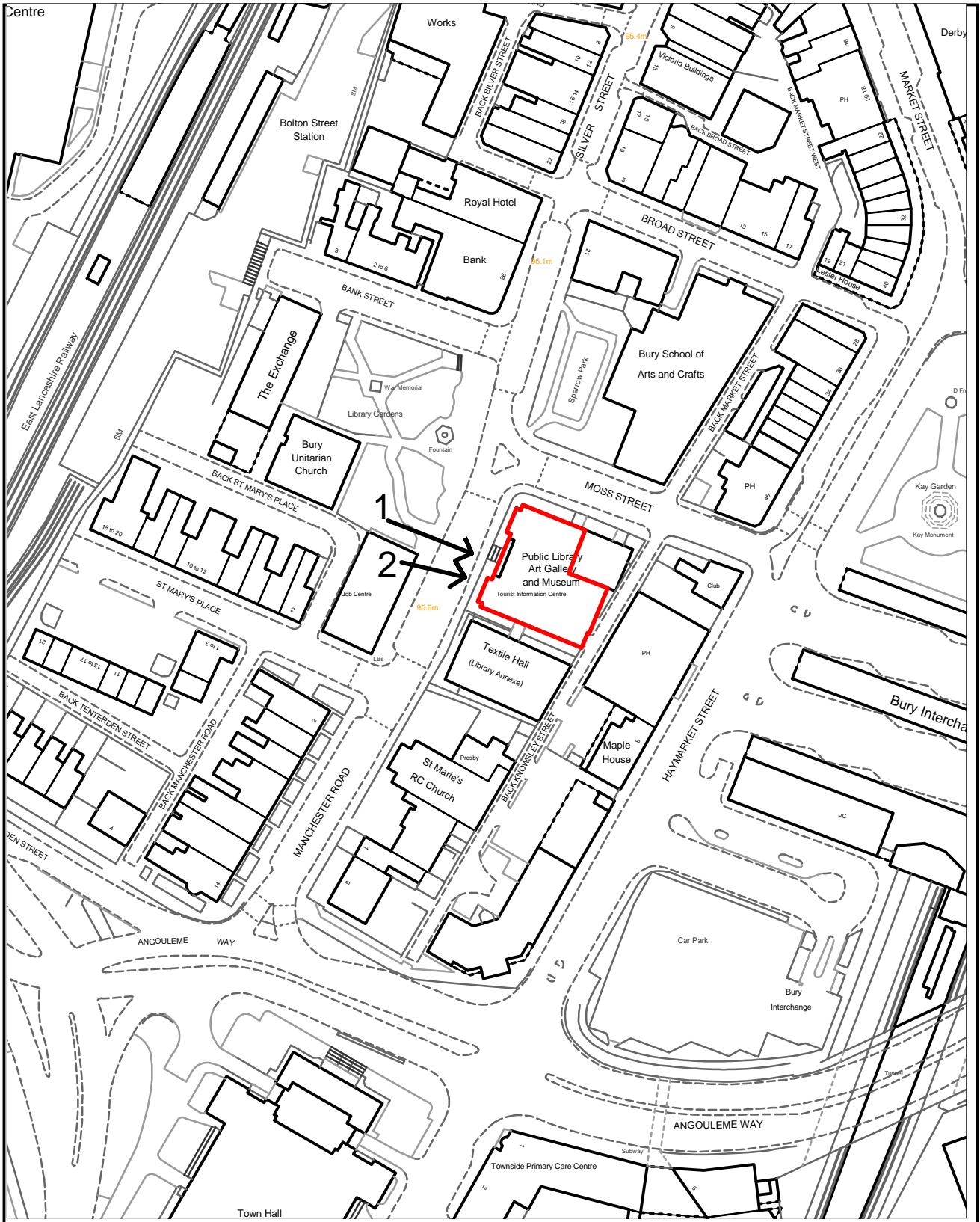
Recommendation: Approve with Conditions

Conditions/ Reasons

1. The development must be begun not later than the expiration of three years beginning with the date of this permission.
Reason - Required to be imposed pursuant to Section 18 of the Planning (Listed Buildings and Conservation Areas) Act 1990.
2. This decision relates to all plans and supporting documents received on 30 June 2014 and the development shall not be carried out except in accordance with the drawings hereby approved.
Reason. For the avoidance of doubt and to ensure a satisfactory standard of design pursuant to the policies of the Bury Unitary Development Plan listed.
4. When the artwork is removed after a period of 3 years from the date of the decision, the works hereby permitted shall be reversed and the building shall as far as practicable be restored to the condition in which it was immediately prior to the carrying out of the permitted works. The details of the reversal works shall be submitted and approved in writing and only the approved works shall be carried out.
Reason. In order to preserve features of special architectural or historical interest and as provided for under Section 17(1) (a) of the Planning (Listed Buildings and Conservation Areas) Act 1990.

For further information on the application please contact **Helen Longworth** on **0161 253 5322**

Viewpoints



PLANNING APPLICATION LOCATION PLAN

APP. NO 59111

**ADDRESS: Bury Art Gallery
Moss Street, Bury**



Planning, Environmental and Regulatory Services 1:1250

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59111

Photo 1



Photo 2



Ward: Radcliffe - East

Item 05

Applicant: HB Villages Developments Limited

Location: Site of former Whittaker House, Parsonage Street/Whittaker Street, Radcliffe, Manchester, M26 2TD

Proposal: Erection of two storey residential building comprising 6 no. supported living apartments (Class C3)

Application Ref: 59193/Full

Target Date: 02/11/2015

Recommendation: Approve with Conditions

Description

The site is that of the former Whittaker House, which was previously used as a care home for the elderly. Whittaker House was a single storey building, which was constructed from red brick with a tile roof. There are mature trees along the boundary with the canal to the north. The site is currently accessed from Whittaker Street and the turning head for Parsonage Street is adjacent to the site.

The site is bounded by residential properties to the east, south and west. The boundary to the north is marked by the Manchester, Bolton and Bury Canal with residential properties beyond.

Planning permission (57362) was granted in May 2014 for the demolition of Whittaker House and the erection of supported living accommodation (14 apartments) and a higher complex care building (6 apartments) on part of the site. Permission (57710) was granted in August 2014 for the erection of 11 affordable dwellings on the remainder of the Whittaker House site. Whittaker House has recently been demolished in accordance with application 57362. Further investigations have revealed a large storm water culvert passes underneath the southern part of the site. Due to the required easements, the approved building for higher complex care cannot be constructed in the approved position.

The proposed development involves the erection of a two storey residential building comprising 6 no. supported living apartments (Class C3). The proposed building would be located in the southern part of the site and would be two storeys in height. The proposed building would be constructed from red brick with a grey tile. The site would be accessed from Parsonage Street.

Supported living accommodation is specifically designed for vulnerable persons who may need occasional on-site support - those with learning difficulties and physical disabilities. The aim is to help these vulnerable people lead an independent life in good quality, well equipped accommodation with access to on-site support as and when required.

Relevant Planning History

57362 - Demolition of existing building and erection of supported living accommodation (14 one bedroom apartments) and Higher Complex Care accommodation (6 one bedroom apartments) together with access and landscaping at Former Whittaker House, Parsonage Street/Whittaker Street, Radcliffe. Approved with conditions - 19 May 2014.

Adjacent site

57363 - Part demolition of Whittaker House and construction of 11 no. affordable dwellings at Whittaker House, Whittaker Street, Radcliffe. Withdrawn - 20 June 2014.

57710 - Part demolition of Whittaker House and construction of 11 no. affordable dwellings at Former Whittaker House, Whittaker Street, Radcliffe. Approved with conditions - 6 August 2014.

Publicity

The neighbouring properties were notified by means of a letter on 17 September 2015.

2 letters have been received from the occupiers of 8, 10 Parsonage Street, which have raised the following issues:

- The location of the proposed building is unclear.
- There would be no objection if the building is against the canal fence.
- The proposal is unacceptable as is located against Parsonage Street and it would block views and light.
- Entrance should be via Whittaker Street as per existing.
- We need to know what individuals will be housed in the building and if our children will be at any risk.
- The site access on Parsonage Street is not acceptable as there is not enough space for existing vehicles.
- Whittaker Street is wider and has a car park and should be used.
- The building will block out natural light and compromise privacy.
- If this was a residential application, we would all have a copy of the plans. We have nothing but a letter from the Council.
- The contractors are working on site, which is not allowed when planning has not been agreed.
- Formally object to the plans.
- Access to the canal will be restricted for Parsonage Street residents.
- The plans should be changed or thrown out.
- Why has groundworks begun when the plans have yet to be declined or approved?

The objectors have been notified of the Planning Control Committee meeting.

Consultations

Traffic Section - No objections in principle. Further comments to be reported in the Supplementary report.

Drainage Section - Comments awaited.

Environmental Health - Contaminated Land - No objections, subject to the inclusion of a condition relating to contaminated land.

Waste Management - No objections.

Environment Agency - Comments awaited.

Design for security - No objections.

United Utilities - No objections, subject to the inclusion of conditions relating to foul and surface water drainage.

The Coal Authority - No objections, subject to the inclusion of a condition relating to coal.

GM Ecology Unit - No objections, subject to the inclusion of a condition relating to nesting birds and an informative relating to invasive species.

Canal & River Trust - No objections, subject to the inclusion of an informative relating to works near a canal.

Unitary Development Plan and Policies

H1/2	Further Housing Development
H2/1	The Form of New Residential Development
H2/2	The Layout of New Residential Development
H4/2	Special Needs Housing
EN1/2	Townscape and Built Design
EN1/3	Landscaping Provision
EN6	Conservation of the Natural Environment
EN6/1	Sites of Nature Conservation Interest SSSI's NNR's
EN6/4	Wildlife Links and Corridors

EN7	Pollution Control
EN7/5	Waste Water Management
EN8	Woodland and Trees
EN8/2	Woodland and Tree Planting
EN10/2	Riverside and Canalside Improvement in Urban Areas
RT2/2	Recreation Provision in New Housing Development
RT4/7	The Manchester, Bolton and Bury Canal
HT2/4	Car Parking and New Development
HT5/1	Access For Those with Special Needs
CF1/1	Location of New Community Facilities
CF3	Social Services
SPD1	Open Space, Sport and Recreation Provision
SPD6	Supplementary Planning Document 6: Alterations & Extensions
SPD11	Parking Standards in Bury
NPPF	National Planning Policy Framework

Issues and Analysis

The following report includes analysis of the merits of the application against the relevant policies of both the National Planning Policy Framework (NPPF) and the adopted Bury Unitary Development Plan (UDP) together with other relevant material planning considerations. The policies of the UDP that have been used to assess this application are considered to be in accordance with the NPPF and as such are material planning considerations. For simplicity, just the UDP Policy will be referred to in the report, unless there is a particular matter to highlight arising from the NPPF where it would otherwise be specifically mentioned.

Principle - Following revocation of the North West Regional Strategy on 20 May 2013, there is no statutory housing target for Bury. Work has commenced on the Greater Manchester Spatial Framework and this will bring forward a new statutory housing target for the Borough. This will subsequently be incorporated into Bury's future Local Plan.

In the meantime, the National Planning Policy Framework should be treated as a material planning consideration and it emphasises the need for local planning authorities to boost the supply of housing to meet local housing targets in both the short and long term. There is a particular emphasis, as in previous national planning guidance, to identify a rolling five year supply of deliverable housing land.

Policy H1/2 states that the Council will have regard to various factors when assessing a proposal for residential development, including whether the proposal is within the urban area, the availability of infrastructure and the suitability of the site, with regard to amenity, the nature of the local environment and the surrounding land uses.

Policy H4/2 states that the Council will encourage the provision of special needs housing and it will be assessed with regard to the location of the site in relation to local shops, public transport, health facilities and community facilities; the gradient on site; car parking; amenity space and the design, layout and landscaping of the site.

The site is located within the urban area and is surrounded by residential properties. As such, the proposal would not conflict with the surrounding land uses. The site did contain an existing building and as such, is previously developed land and there would be adequate infrastructure available. The site is located within walking distance of Radcliffe town centre and is close to a bus route. The issues of car parking and design and layout of the site will be assessed later in the report. Therefore, the proposed development would be acceptable in principle and would be in accordance with Policies H1/2 and H4/2 of the Bury Unitary Development Plan.

Design and layout - Planning permission was granted for a single storey building to provide higher complex care in May 2014. Further investigations have revealed a large stormwater culvert passes underneath the southern part of the site. Due to the required

easements, the approved building for higher complex care cannot be constructed in the approved position.

The proposed building would be traditional in design and would incorporate a pitched roof. There are a variety of buildings within the locality, but there is no prevailing type or design. The proposed building would be constructed from red brick, grey tile and reconstituted stone headers and cills, which would add visual interest to the elevations. Therefore, the proposed development would not be a prominent feature within the streetscene and would be in accordance with Policy H2/1 and H2/2 of the Bury Unitary Development Plan.

The area to the north of the proposed building would provide private amenity space and the level of provision would be acceptable. The proposed closed timber boarded fence would match the existing fencing in the locality and would not be a prominent feature within the streetscene. Therefore, the proposed development would be in accordance with Policies H2/1, H2/2 and EN1/2 of the Bury Unitary Development Plan.

Impact upon residential amenity - SPD6 provides guidance on aspect distances between residential properties and would be relevant in this case.

The southern elevation of the proposed building would contain 4 windows at first floor level, which would all relate to a corridor. As such, these are not habitable rooms and there should be a minimum of 13 metres between the proposed building and the existing dwellings.

There would be a minimum of 18.8 metres between the rear of Nos 12 - 16 Parsonage Street and the proposed building. This would be in excess of the aspect standard.

There would be 14.7 metres between the rear of Nos 12 - 16 Parsonage Street and the single storey element of the proposed building. A 1.8 metre high close timber boarded fence would be erected on the boundary between the proposed building and the existing dwellings, which would screen the proposed window and would not impact adversely upon the amenity of the neighbouring properties.

Therefore, the proposed development would not have a significant adverse impact upon the amenity of the neighbouring properties.

Highways issues - The proposed development would be accessed from Parsonage Street and would link to the turning head. This access was established with the grant of planning permission (57362) in May 2014. There would be acceptable levels of visibility and the Traffic Section has no objections in principle, with further comments to be reported in the Supplementary Report. Therefore, the proposed development would be in accordance with Policies H2/1 and H2/2 of the Bury Unitary Development Plan.

Parking - SPD11 states that the maximum parking standards for a 1 bedroom unit is 1 space per unit, which equates to 20 spaces.

The proposed development would provide the same number of units as the previously approved scheme (57362) and would provide the same number of parking spaces - 15 spaces. The proposed development is for people with learning difficulties and physical disabilities and as such, it is likely that car ownership would be low. The likely traffic generation would be from staff and visitors to the site. As such, given the close proximity to the town centre and public transport and the low level of car ownership, it is considered that the level of parking would be acceptable in this case. Therefore, the proposed development would be in accordance with Policy HT2/4 of the Bury Unitary Development Plan and SPD11.

Response to objectors

The issues relating to loss of light and privacy, access from Parsonage Street and design and layout are dealt with in the main report.

The proposed development would be used to support vulnerable people with learning difficulties and physical disabilities, who would pose a minimal risk to the community. The proposed units would be staffed and the staff would offer support as and when required to residents to help them lead an independent life.

Plans of the scheme are readily available to view. Planning permission was granted in May 2014 and has been part implemented, which accounts for the commenced works.

Statement in accordance with Article 35(2) Town and Country Planning (Development Management Procedure) (England) (Amendment) Order 2015

The proposal complies with the development plan and would improve the economic, social and environmental conditions of the area. It therefore comprises sustainable development and the Local Planning Authority worked proactively and positively to issue the decision without delay. The Local Planning Authority has therefore implemented the requirement in Paragraphs 186-187 of the National Planning Policy Framework.

Recommendation: Approve with Conditions

Conditions/ Reasons

1. The development must be begun not later than three years beginning with the date of this permission.
Reason. Required to be imposed by Section 91 Town & Country Planning Act 1990.
2. This decision relates to drawings numbered AL-90-001 P1, AL-90-002 P1, AL-20-001 P1, AL-20-001 P1 and the development shall not be carried out except in accordance with the drawings hereby approved.
Reason. For the avoidance of doubt and to ensure a satisfactory standard of design pursuant to the policies of the Bury Unitary Development Plan listed.
3. Details/Samples of the (materials/bricks) to be used in the external elevations, together with details of their manufacturer, type/colour and size, shall be submitted to and approved in writing by the Local Planning Authority before the development is commenced. Only the approved materials/bricks shall be used for the construction of the development.
Reason. No material samples have been submitted and are required in the interests of visual amenity and to ensure a satisfactory development pursuant to UDP Policy EN1/1 Visual Amenity.
4. No works shall be carried out to the trees that would disturb nesting birds between 1st March and 31st August inclusive in any year.
Reason. In order to ensure that no harm is caused to a Protected Species pursuant to policies EN6 – Conservation of the Natural Environment and EN6/3 – Features of Ecological Value of the Bury Unitary Development Plan and National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.
5. A landscaping scheme shall be submitted to and approved in writing by the Local Planning Authority prior to the commencement of the development. It shall be implemented not later than 12 months from the date the building(s) is first occupied; and any trees or shrubs removed, dying or becoming severely damaged or becoming severely diseased within five years of planting shall be replaced by trees or shrubs of a similar size or species to those originally required to be planted to the written satisfaction of the Local Planning Authority.
Reason. To secure the satisfactory development of the site and in the interests of visual amenity pursuant to Policy EN1/2 - Townscape and Built Design and EN8/2 – Woodland and Tree Planting of the Bury Unitary Development Plan.

6. No development shall commence unless or until details of foul and surface water drainage have been submitted to and approved in writing by the Local Planning Authority. The approved details shall be implemented prior to first occupation of the buildings hereby approved.
Reason. To ensure a satisfactory means of drainage pursuant to Policy EN7/5 - Waste Water Management of the Bury Unitary Development Plan.
7. The bin store indicated on approved plan reference AL-90-002 Revision P1 shall be provided before the development is brought into use/first occupied and shall subsequently be maintained thereafter for this use.
Reason. pursuant to the following Policies of the Bury Unitary Development Plan:
Policy H2/1 - The Form of New Residential Development
Policy H2/2 - The Layout of New Residential Development.
8. The car parking indicated on approved plan reference AL-90-002 Revision P1 shall be surfaced, demarcated and made available for use prior to the building hereby approved being occupied.
Reason. To ensure adequate off street car parking provision in the interests of road safety pursuant to Policy HT2/4 - Car Parking and New Development of the Bury Unitary Development Plan.
9. No development shall commence unless or until details of foul and surface water drainage, including an assessment of potential SuDS options for surface water drainage have been submitted to and approved in writing by the Local Planning Authority. Only the approved details shall be implemented prior to occupation of the buildings hereby approved.
Reason. To ensure a satisfactory means of drainage pursuant to Policy EN7/5 - Waste Water Management of the Bury Unitary Development Plan.
10. The development hereby approved shall only be developed by or on behalf of the applicant as a supported living scheme (Class C3 of the Town and Planning Use Classes Order) as defined in Department of Health Guidance: 'Supported living schemes: Regulated activities for which the provider may need to register' and each and every one of the apartments constructed as part of the scheme shall subsequently be occupied only and at all times as supported living which meets the above definition.
Reason - The proposed development has been granted given the particular circumstances of the applicant following a funding package driven from Housing Benefit Exempt Rents which provides an opportunity to promote increased supported living, but as a result a recreational contribution pursuant to Supplementary Planning Document 1 (Open Space, Sport and Recreation Provision in New Housing Development) will not be provided. This condition is thereby to ensure that in order to make the development acceptable in planning terms, as a result of not making a recreational contribution the whole development shall instead contribute to satisfying the need for supported living provision.

For further information on the application please contact **Helen Longworth** on **0161 253 5322**

59193

Photo 1



Photo 2



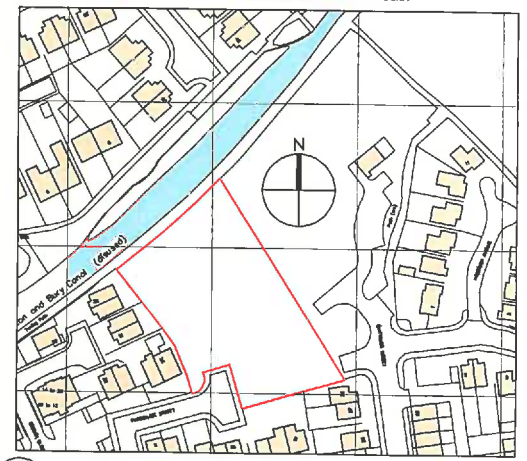
59193

Photo 3





- KEY TO HATCH / MATERIALS**
- TARMACADAM HARD STANDING, VEHICLE GRADE, WHITE ROAD MARKINGS AS SHOWN
 - 600 X 600MM PAVING FLAG
 - GRASSED AREA
 - NEW BOUNDARY FENCE - 1800MM HIGH CLOSE BOARDED TIMBER FENCE (2000MM WHERE NOTED)
 - EX. BUILDING (EXTRACT OF OS MAP)
 - INDICATIVE PLANTING - DETAILED DESIGN TO LANDSCAPE ARCHITECT TO DETAIL.
 - 2M HIGH METAL FENCE TO BOUNDARY ALONG CANAL TOW PATH, TYPE TBA WITH LPA
 - SOFT LANDSCAPE AREA: SHRUBS AND PLANTING SPEC TO LANDSCAPE ARCHITECTS DESIGN
 - EX. LEVELS & CONTOURS, REDUCED TO SUIT NEW FFLS
 - EX. TREES REMAINED (L & PROTECTED DURING CONSTRUCTION WORKS ON SITE)
 - EX. TREES TO BE REMOVED



NOTES

ALL DIMENSIONS AND LEVELS ARE TO BE CHECKED ON SITE

ANY DISCREPANCIES ARE TO BE REPORTED TO THE ARCHITECT BEFORE ANY WORK COMMENCES

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PL1 19/02/2013 Issued for PLANNING AB

rev date/rev description

project Assisted Living Units, Bury

location Bury

client HB Villages

AFL Architects
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e: mail@afl-uk.com
London office
t: +44 (0)20 7831 8877

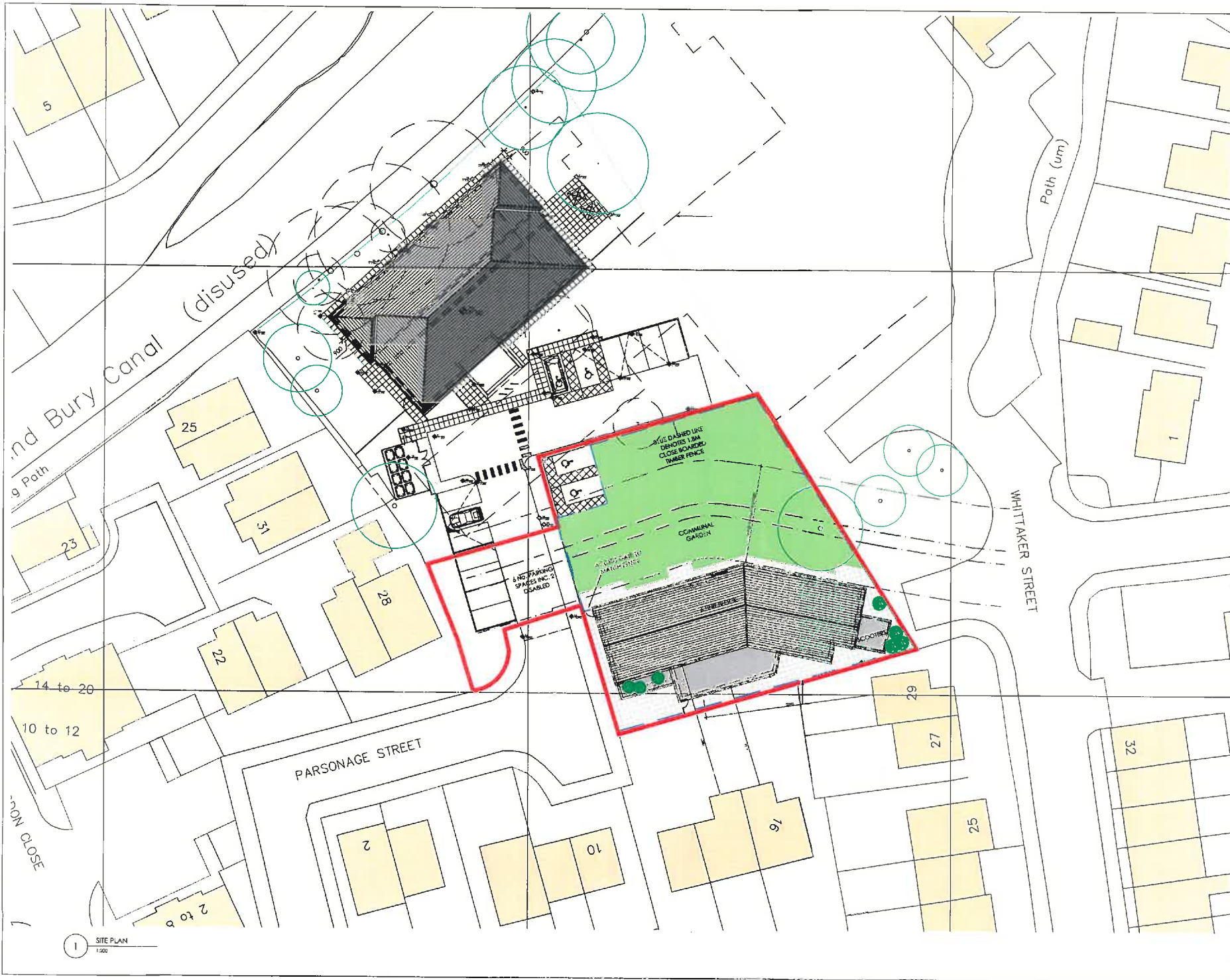


SITE & LOCATION PLAN

chg purpose
PLANNING

scale 1:100 drawn AB checked AB
@ sheet size A2 rev date 19/02/14

134102 AL-90-100 PL1
job number drawing number revision



NOTES
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P1 02/09/15 H3 Issue
 OK
 rev: 02/09/15 consultation
 project: Bury - Assisted Living Units
 location: Bury
 class: H3 Villages
 AFL Architects
 1st floor
 31 Georges House
 54 Park Street
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 W: www.afl.co.uk
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 london@afl.co.uk
 T: +44 (0) 20 7881 8877
 key plan

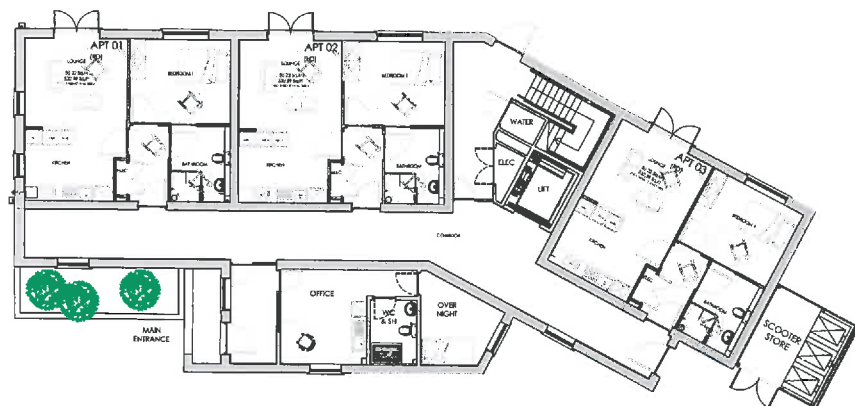


drawing title: 5 UNIT BLOCK SITE PLAN
 design: JUNG
 checked: OK
 scale: 1:200
 15/4121
 02/09/15
 02/09/15
 AL-90-002
 P1

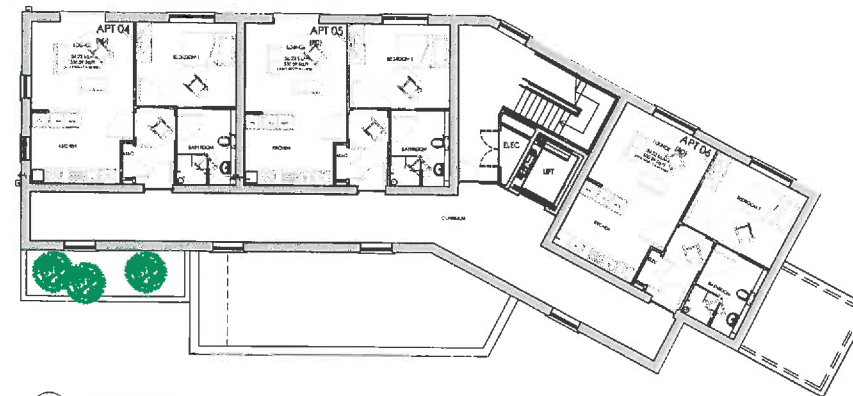
1 SITE PLAN
 1:200

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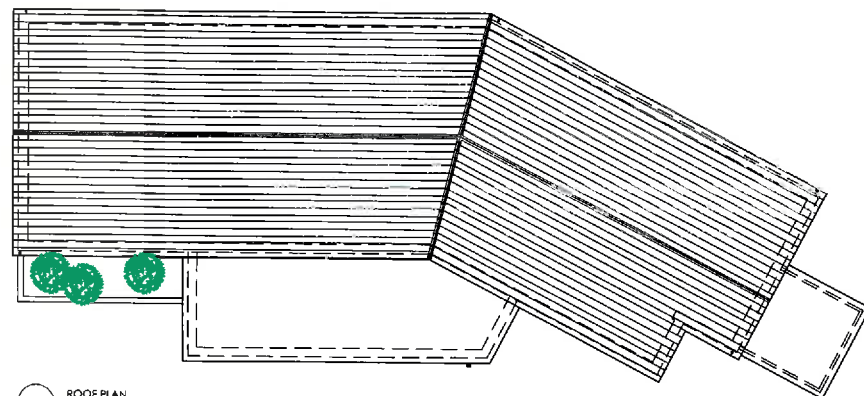
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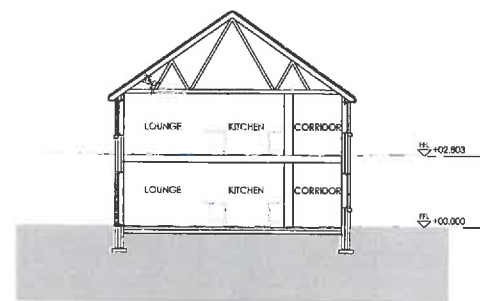
1 GROUND FLOOR PLAN
1:100



2 FIRST FLOOR PLAN
1:100



3 ROOF PLAN
1:100



4 SECTION A-A
1:100

PR 02/01/15 Rev 1 Issue
OK

REV 02/01/15 Description

Project Bury - Assisted Living Units

Location Bury

Client HB Villages

AFL Architects
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Key plan



Drawing title
**6 UNIT BLOCK
 PLANS AND SECTION**

Design person
PLANNING

scale	1:100	drawn OK	checked SD
sheet size	A1	rev date	02/07/15
154121	AL-20-01	P1	
job number	drawing number	revision	

NOTES

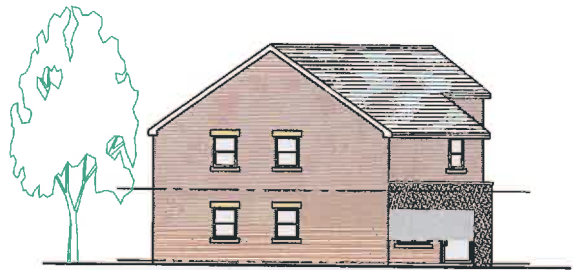
ALL DIMENSIONS AND LEVELS ARE TO BE CHECKED ON-SITE.
 ANY DISCREPANCIES ARE TO BE REPORTED TO THE ARCHITECT BEFORE ANY WORK COMMENCES.
 THE DRAWING SHALL NOT BE SCALED TO ASCERTAIN ANY DIMENSIONS WORK TO BE REQUIRED (BMS ONLY).
 THE DRAWING SHALL NOT BE REPRODUCED WITHOUT EXPRESS WRITTEN PERMISSION FROM AFL.



1 FRONT ELEVATION
1:100



2 REAR ELEVATION
1:100



3 SIDE ELEVATION
1:100



4 SIDE ELEVATION
1:100

MATERIALS
 ROOF: SLATE GREY CONCRETE TILE E.G. MARLEY MODERN OR SIMILAR APPROVED
 WALLS: RED / BROWN MULTI FACING BRICKWORK E.G. BSOCK RAVENHEAD
 WINDOWS: WHITE UPVC
 GUTTERS & RWPS: BLACK UPVC. E.G. MARLEY LIFE4
 FEATURE CILLS & LINTELS: RECONSTITUTED STONE

PI	12/21/13	1st Issue
DR	02/20/13	02/20/13
PROJECT	Bury - Assisted Living Unit	
ADDRESS	Bury	
TEAM	HB Villages	

AFL ARCHITECTS
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 12 Peter Street
 Manchester M2 3PD
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 City Centre



Drawing No		
& UNIT BLOCK ELEVATIONS		
Drawing No		
PLANNING		
SCALE	1:100	Sheet No
DATE	12/21/13	Sheet No
154121	AE-20-001	PI
02/20/13	02/20/13	02/20/13

Ward: Prestwich - Sedgley

Item 06

Applicant: Absolute Dental

Location: 111 Bury Old Road, Prestwich, Manchester, M25 0EQ

Proposal: Single storey extension at side; Two storey extension at rear; Entrance porch at front/side; External works and 2 no. additional parking spaces

Application Ref: 59202/Full

Target Date: 03/11/2015

Recommendation: Approve with Conditions

Description

The site contains a two storey detached building which is constructed from red brick with a tile roof and is currently in use as a dentists' surgery. Planning permission was granted for the change of use from a dwelling to a dentist surgery in July 2006. The permission granted consent for 3 surgeries and the accommodation comprised a reception, waiting rooms, hygienist's room, meeting room and office. The opening hours were restricted to:

- 9am-5pm Monday to Thursday
- 8am-1pm Friday and alternate Saturdays
- Closed on Sundays.

There is a stepped access from the corner of Bury Old Road and Parkway and a ramped access along the gable elevation. Vehicular access is taken from Parkway and leads to a car park of 6 spaces and 1 disabled parking bay.

There are residential properties to the north, south and west and the Woodthorpe public house is located to the east. Manchester Maccabi sports club is located to the south east.

The proposed development involves the erection of a single storey side extension, a two storey rear extension, an entrance porch and alterations to the car park layout.

The proposed single storey rear extension would be located to the north of the existing building and would be constructed from render. The proposed two storey extension would be located at the rear and constructed from render. The proposed porch would be located on the south-eastern corner of the building and would be constructed from render and glazing with aluminium panels.

The pedestrian access via the ramp would remain as existing and the stepped access would be relocated in front of the door. Vehicular access would remain as existing and an additional space would be provided in the car park.

Relevant Planning History

46463 - Change of use from residential to dental surgery at 111 Bury Old Road, Prestwich. Approved with conditions - 26 July 2006.

Publicity

The neighbouring properties were notified by means of a letter on 14 September 2015.

1 letter of support has been received from the occupiers of 18 Chestnut Fold and 59 Higher Ainsworth Road (Radcliffe), which has raised the following issues:

- Support the proposal as a patient from the practice.
- Welcome the car park.
- The surgery provides a good service to the community.

- The existing car park is a little small and welcome any additional spaces.

3 letters have been received from the occupiers of 2, 3 Parkway, which have raised the following issues;

- The constant coming and going and problems with parking are a nightmare.
- The staff are encouraged to park on the road, limiting access for neighbouring residents.
- The proposed single storey extension would encroach onto my property.
- The proposed extension at the rear would reduce the size of the car park and make more people park on the road.
- The building works would take a consideration amount of time.
- The proposed single storey side extension will have a visual impact upon neighbouring properties and would be mainly on Parkway, not Bury Old Road.
- It appears that more treatment rooms and therefore, staff have been added. As patient numbers are high, more people park outside existing dwellings causing problems for local residents.
- An inconsiderate patient reversed into a parked car and damaged it.
- The street is unsafe for children.

The objectors and supporters have been notified of the Planning Control Committee.

Consultations

Traffic Section - No objections, subject to the inclusion of a condition relating to car parking.

Drainage Section -

Environmental Health - Contaminated Land - No comments.

Unitary Development Plan and Policies

EC4/1	Small Businesses
EN1/2	Townscape and Built Design
EN7	Pollution Control
EN7/2	Noise Pollution
HT2/4	Car Parking and New Development
HT5/1	Access For Those with Special Needs
CF1/1	Location of New Community Facilities
CF4	Healthcare Facilities
NPPF	National Planning Policy Framework

Issues and Analysis

The following report includes analysis of the merits of the application against the relevant policies of both the National Planning Policy Framework (NPPF) and the adopted Bury Unitary Development Plan (UDP) together with other relevant material planning considerations. The policies of the UDP that have been used to assess this application are considered to be in accordance with the NPPF and as such are material planning considerations. For simplicity, just the UDP Policy will be referred to in the report, unless there is a particular matter to highlight arising from the NPPF where it would otherwise be specifically mentioned.

Principle - Policy CF1/1 states that proposals for new and improved community facilities will be considered with regard to the following factors:

- impact upon residential amenity and the local environment;
- traffic generation and car parking provision;
- the scale and size of the development;
- access to shops and other services;
- the suitability of the chosen location in relation to the community;
- accessibility by public and private transport;
- the needs and requirements of the disabled.

Policy CF4 states that improvements to existing, and proposals for new healthcare facilities

will generally be looked on favourably by the Council.

The principle of a dentist's surgery was established with the grant of planning consent in July 2006. The proposed development would involve the extension of the existing facility, which would result in the provision of an additional surgery. This in turn would provide an improved service to local people. The proposed development would be accessible by public and private transport and the remaining issues of size, scale, impact upon residential amenity and the needs of the disabled will be discussed later in the report. Therefore, the proposed development would be acceptable in principle and would be in accordance with Policies CF1/1 and CF4 of the Bury Unitary Development Plan.

Design and layout - The proposed extensions would be modern in terms of design and would represent a clear addition to the property. The proposed extensions would be constructed from render, which would complement the existing property and add visual interest to the elevations. The proposed extensions would add a total of 32 square metres to the floorspace of the building and as such, it is considered that the proposed development would be appropriate in scale. Therefore, the proposed development would not be a prominent feature within the streetscene and would be in accordance with Policies EN1/2 and CF1/1 of the Bury Unitary Development Plan.

The existing boundary hedge and replacement fencing along the Parkway frontage would help screen it visually from the street and neighbours at No.115 Bury Old Road and No.1 Parkway. The daytime hours of opening of the surgery are considered to be reasonable and should not raise serious noise and disturbance issues. As such, the location of the surgery is unlikely to cause serious harm to the residential amenity of immediate neighbours.

Impact upon residential amenity - The proposed development would be used in conjunction with the existing dentist surgery and would provide an additional consultancy room. The proposed development of an additional room would not increase the level of noise significantly and given the scale of the development would not have a significant adverse impact upon the amenity of the neighbouring properties in terms of noise.

There would be 19 metres between the proposed single and two storey rear extension and the blank gable of No. 1 Parkway, which would be in excess of the aspect standard in SPD6. The proposed single storey extension would be level with the building line to the adjacent dwelling (No. 115 Bury Old Road) and as such, the proposed extension would not have an adverse impact in terms of loss of light or privacy upon the occupiers of this property. Therefore, the proposed development would not have an adverse impact upon the amenity of the neighbouring properties and would be in accordance with Policies CF1/1 and EN1/2 of the Bury Unitary Development Plan.

Highways issues - The proposed development would involve alterations to the layout of the car park, which would result in the provision of an additional 2 parking spaces from 7 to 9. Given that the proposed development is located on a main bus route and is within walking distance of the Metrolink line and within a residential area which it serves, it is considered that the level of parking provision would be acceptable in this instance. The Traffic Section has no objections, subject to the inclusion of a condition relating to car parking. Therefore, the proposed development would be in accordance with Policies HT2/4, EN1/2 and CF1/1 of the Bury Unitary Development Plan and the proposed development would not impact upon the existing vehicular access on Parkway.

Access - The proposed development would include the provision of an ambulant staircase within the building, which is welcomed. The existing ramped access from the car park to the main entrance would be unaffected by the proposed development. Therefore, the proposed development would be accessible and would be in accordance with Policy HT5/1 of the Bury Unitary Development Plan.

Response to objectors

The issues relating to parking, access and visual impact have been addressed within the main report. The proposed single storey extension would be located on land owned by the applicant and in any case, land ownership is not a material planning consideration. The length of time of the building works is not a material planning consideration.

Statement in accordance with Article 35(2) Town and Country Planning (Development Management Procedure) (England) (Amendment) Order 2015

The Local Planning Authority worked positively and proactively with the applicant to identify various solutions during the application process to ensure that the proposal comprised sustainable development and would improve the economic, social and environmental conditions of the area and would accord with the development plan. These were incorporated into the scheme and/or have been secured by planning condition. The Local Planning Authority has therefore implemented the requirement in Paragraphs 186-187 of the National Planning Policy Framework.

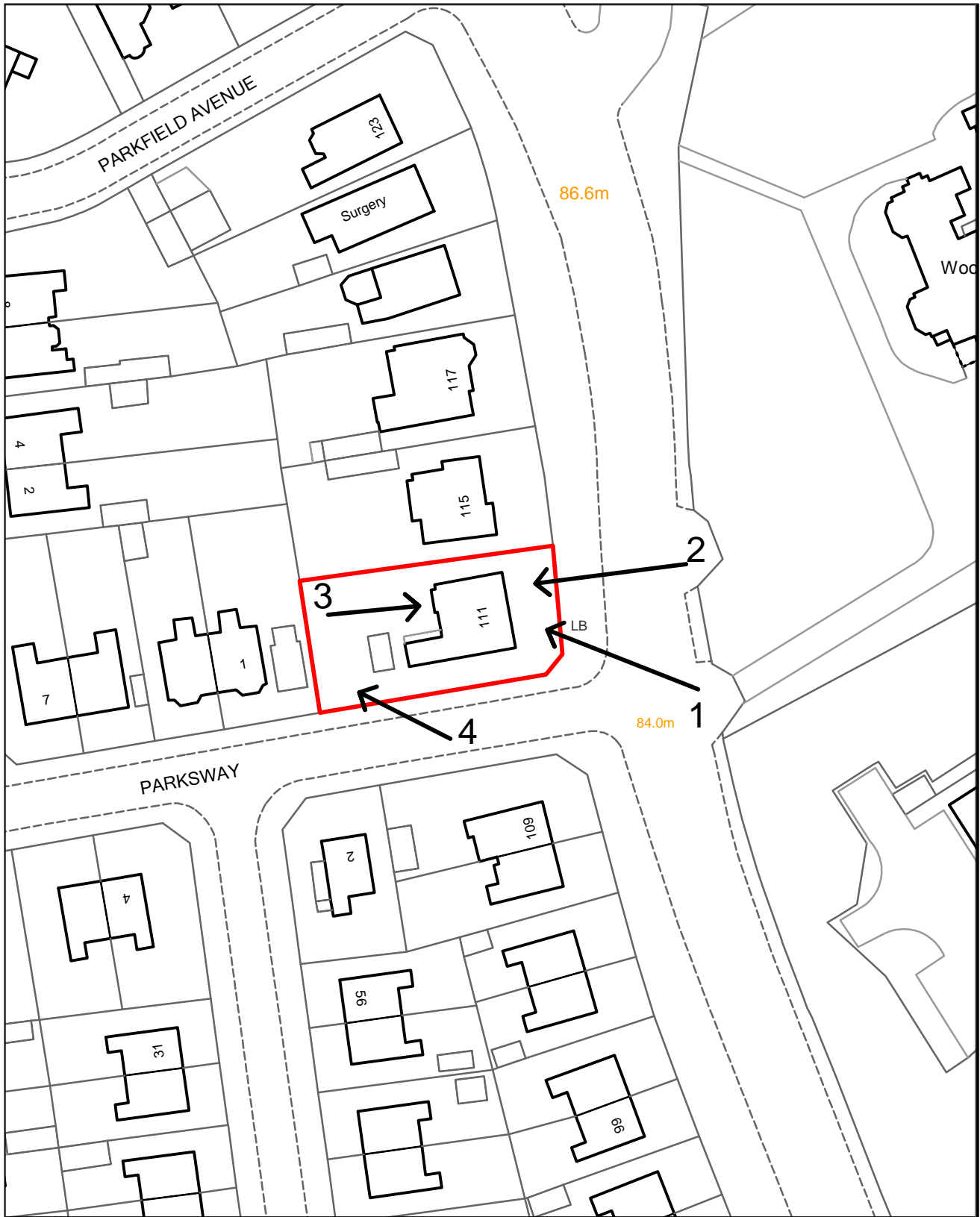
Recommendation: Approve with Conditions

Conditions/ Reasons

1. The development must be begun not later than three years beginning with the date of this permission.
Reason. Required to be imposed by Section 91 Town & Country Planning Act 1990.
2. This decision relates to drawings numbered Location plan, 1615 P(900), 1615 E(100), 1615 E(101), 1615 P(100), 1615 P(101), 1615 P(204), 1615 E(204) and the development shall not be carried out except in accordance with the drawings hereby approved.
Reason. For the avoidance of doubt and to ensure a satisfactory standard of design pursuant to the policies of the Bury Unitary Development Plan listed.
3. Details/Samples of the render to be used in the external elevations, together with details of the manufacturer and type/colour shall be submitted to and approved in writing by the Local Planning Authority before the development is commenced. Only the approved materials shall be used for the construction of the development.
Reason. No material samples have been submitted and are required in the interests of visual amenity and to ensure a satisfactory development pursuant to UDP Policy EN1/1 Visual Amenity.
4. The surgery shall not be open outside 0800 hrs to 1800 hrs Monday to Saturday.
Reason. To safeguard the amenities of the occupiers of nearby residential accommodation pursuant to Policies CF4 - Healthcare Facilities and EC4/1 - Small Businesses of the Bury Unitary Development Plan.
5. The additional car parking indicated on approved plan reference 1615 P(900) shall be surfaced, demarcated and made available for use prior to the development hereby approved being occupied and thereafter maintained at all times.
Reason. To ensure adequate off street car parking provision in the interests of road safety pursuant to Policy HT2/4 - Car Parking and New Development of the Bury Unitary Development Plan.

For further information on the application please contact **Helen Longworth** on **0161 253 5322**

Viewpoints



PLANNING APPLICATION LOCATION PLAN

APP. NO 59202

**ADDRESS: 111 Bury Old Road
Prestwich**



Planning, Environmental and Regulatory Services 1:1250

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59202

Photo 1



Photo 2



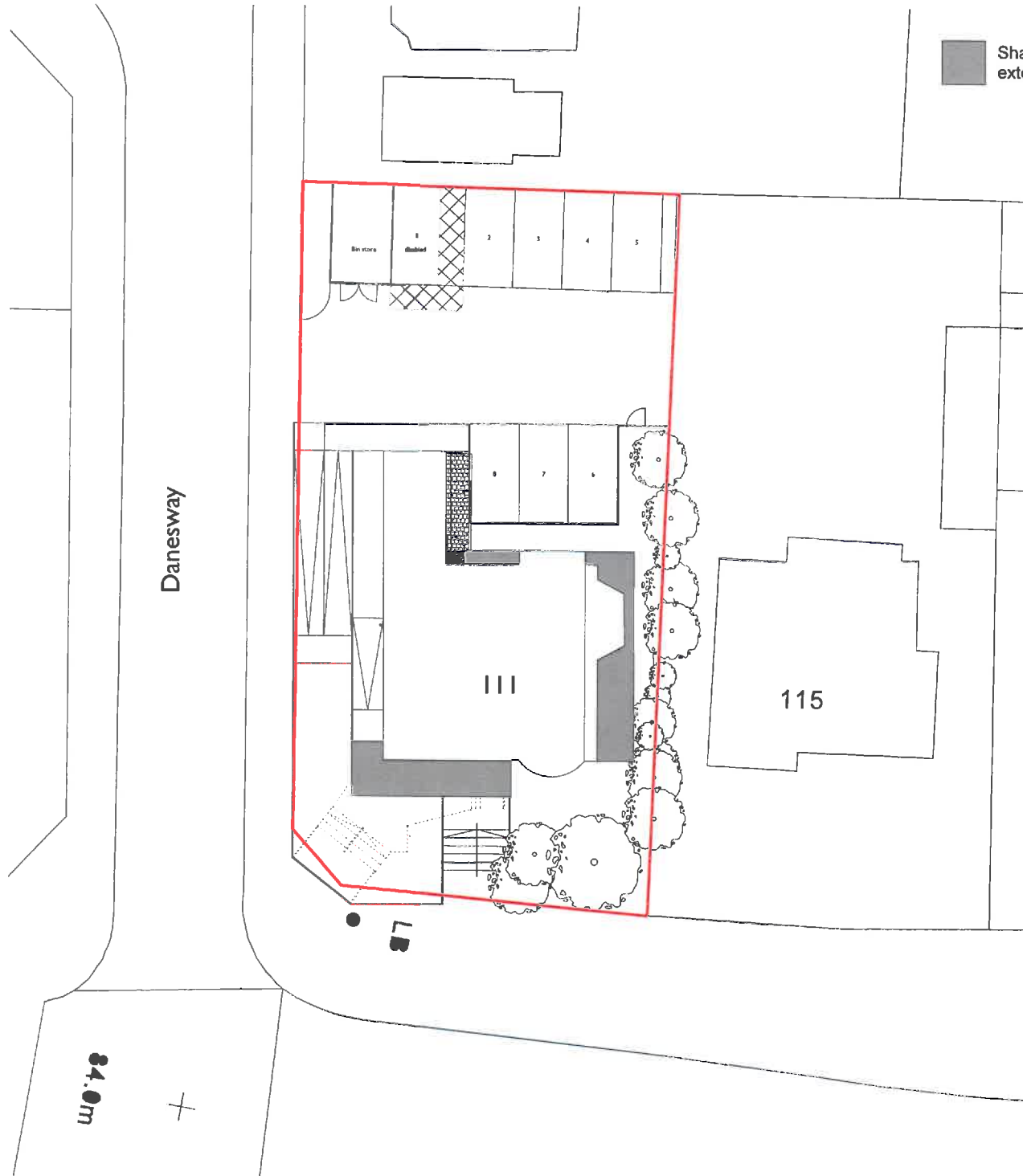
59202

Photo 3



Photo 4





Shaded area represents extension

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DO NOT SCALE FROM THIS DRAWING
DIMENSIONS TO BE CHECKED ON SITE

A
14/10/15 Areas of extension shown shaded

Absolute Dental

Block Plan
Proposed

scheme	1615
dwg no.	P(900)
rev	A

scale	1:5000
date first drawn	Aug 15
drawn	HAP

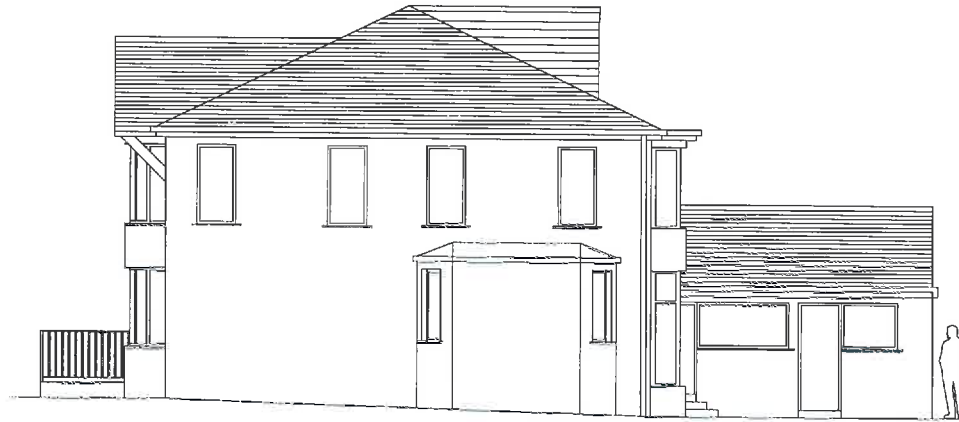
MR ARCHITECTS P. PERROUD T. WATKIN C. WATKIN All work
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e architect@absolute-dental.co.uk



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East Elevation



North Elevation



West Elevation



South Elevation

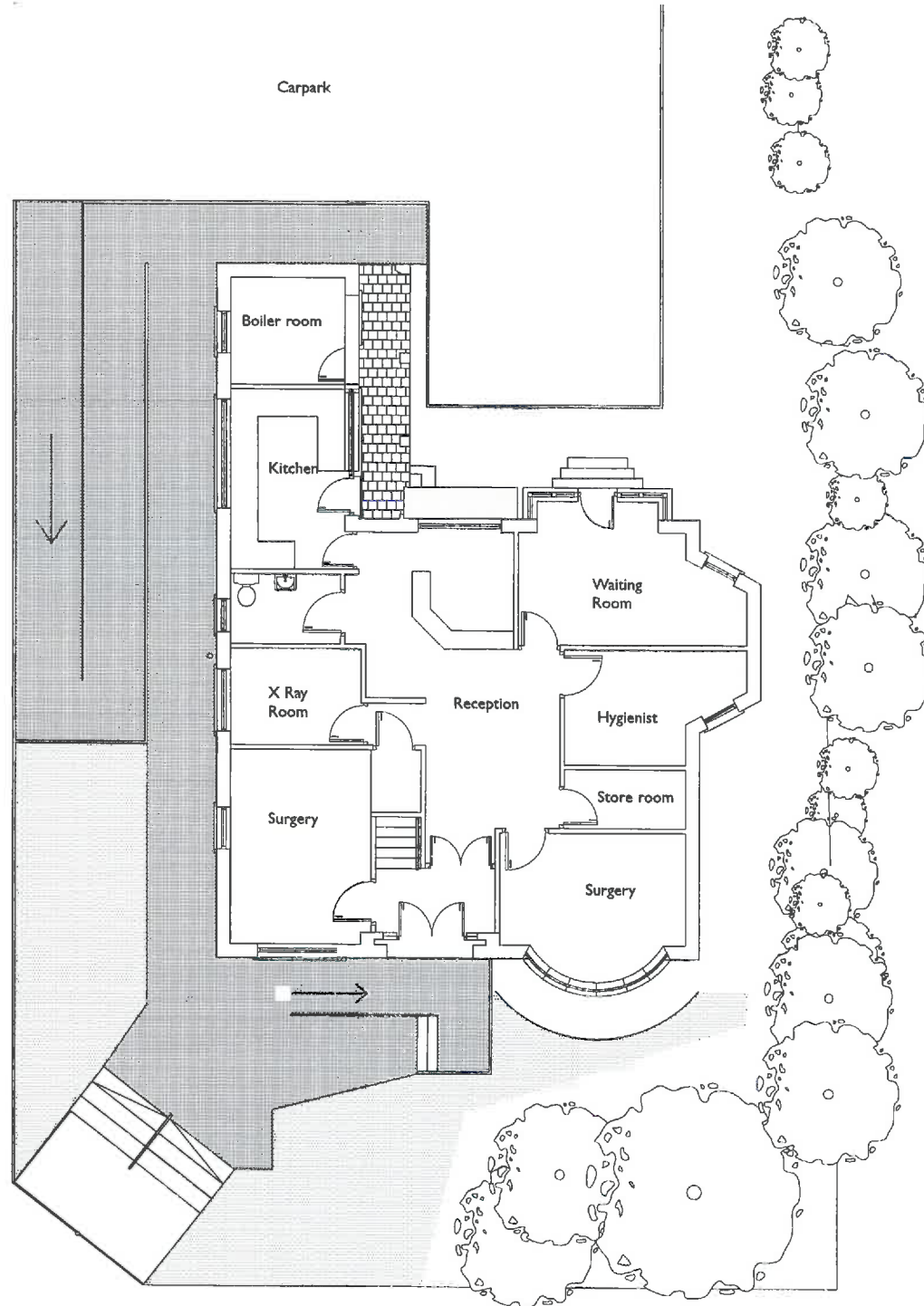
Absolute Dental

Elevations
Existing

schema 1615
draw no. **E(204)**
rev -

scale 1:1000 A3
date first drawn Aug 15
drawn HP

SK sketch P proposal T tender C construction All other
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e architect@ateliermb.co.uk



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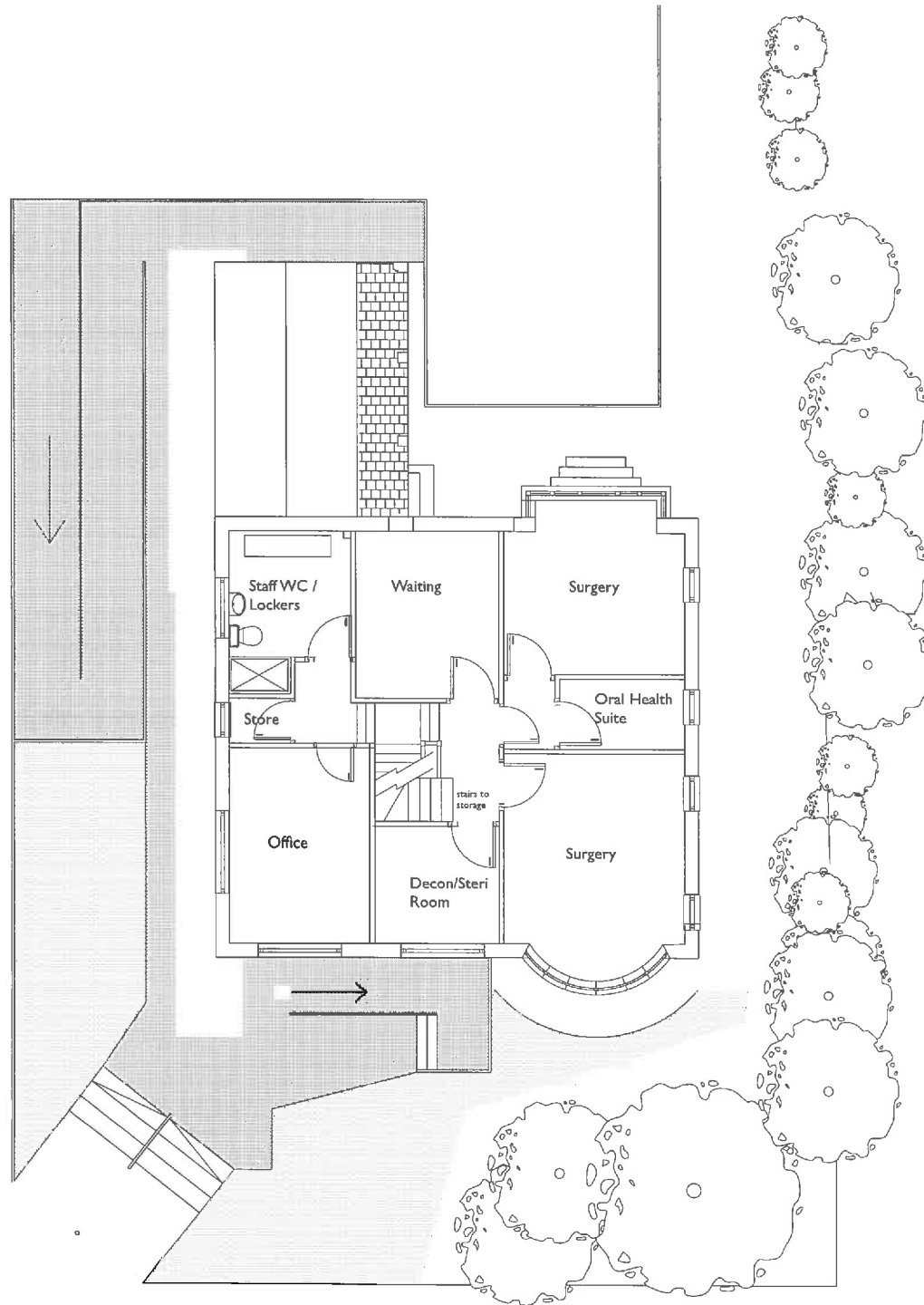
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Ground Floor Plan
Existing

scheme	1615
drawn no.	E(100)
rev	-

scale	1:100@A3
date first drawn	14/11/15
drawn	MSF

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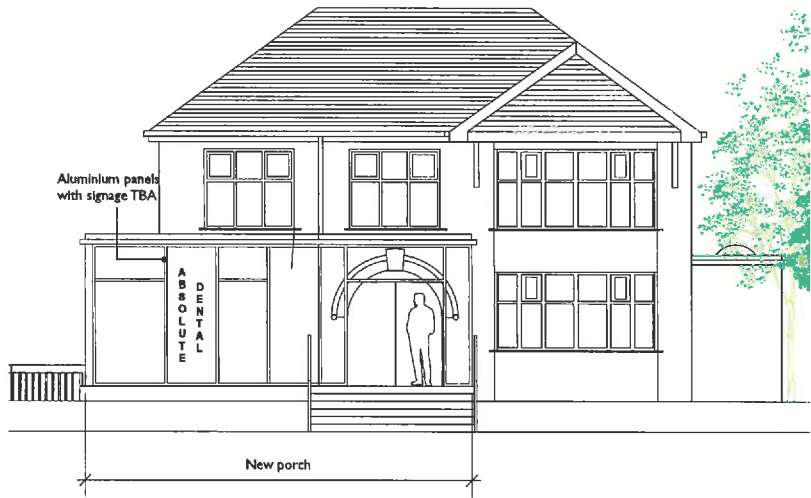
First Floor Plan
Existing

schema	1615
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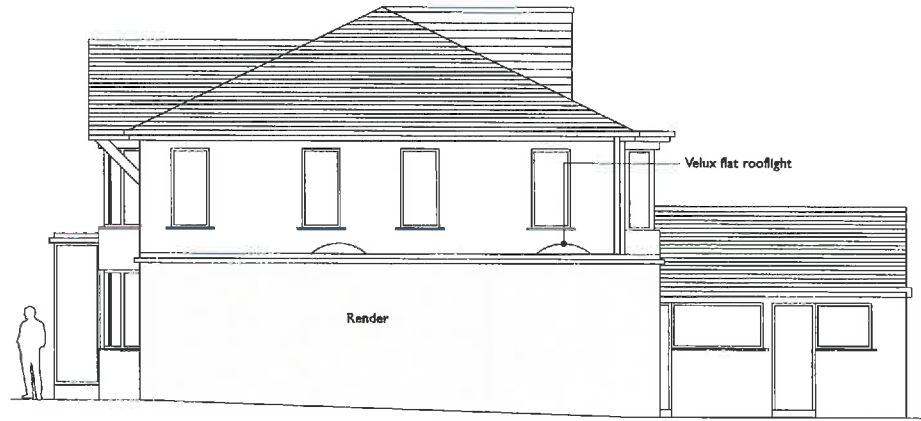
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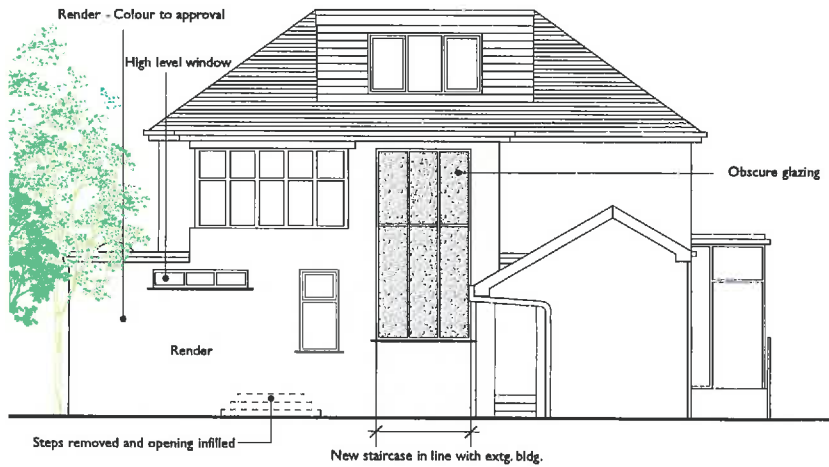




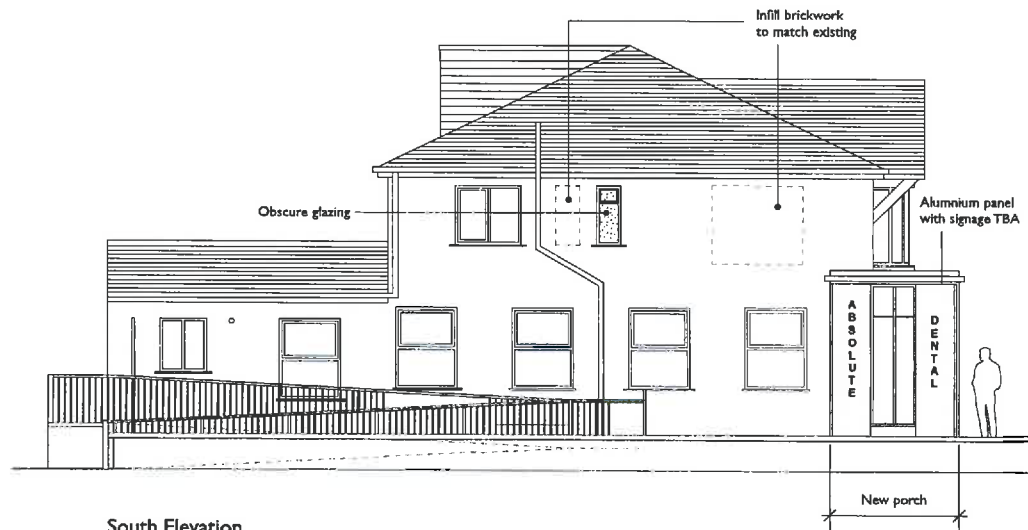
East Elevation



North Elevation



West Elevation



South Elevation

Absolute Dental

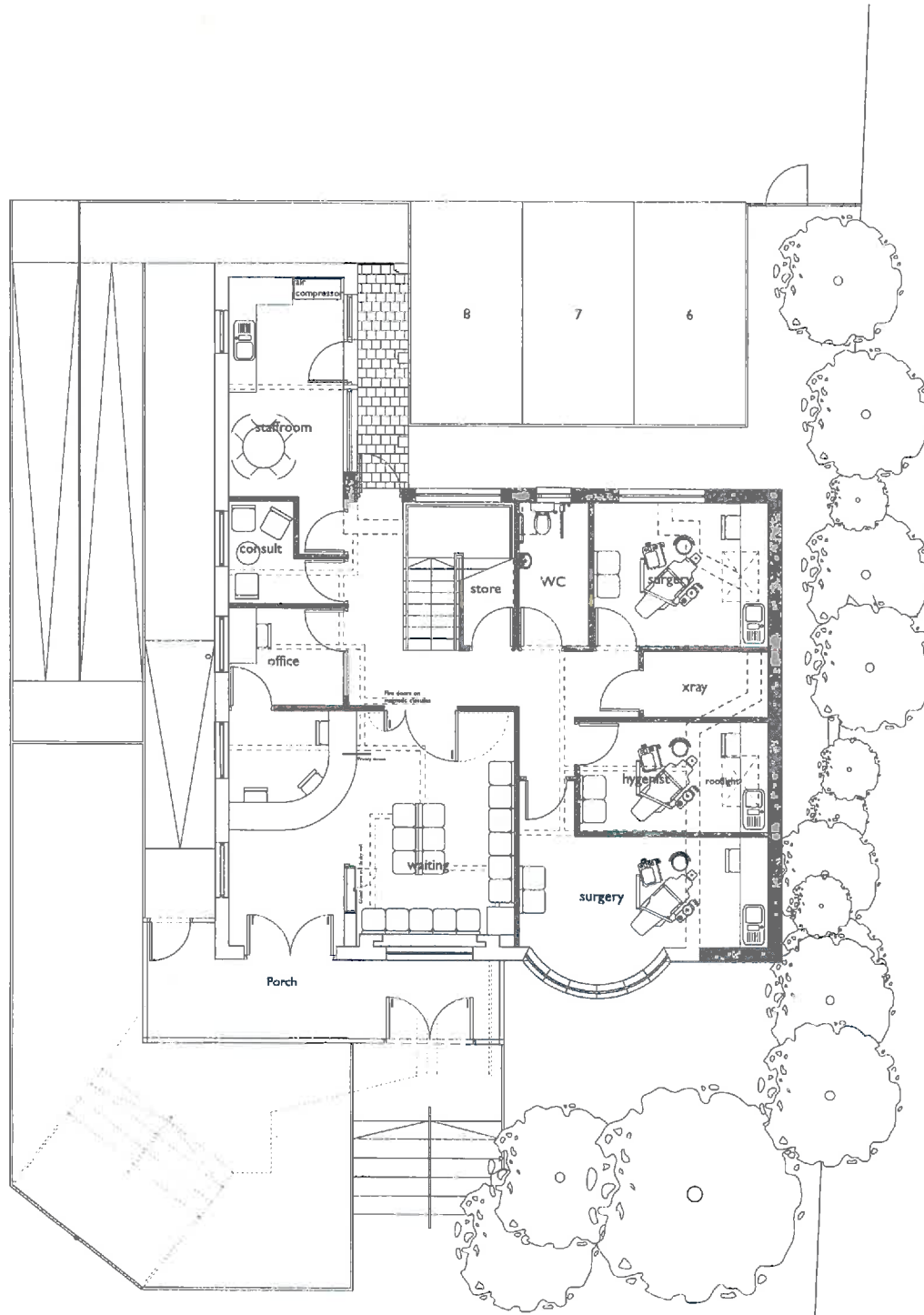
Elevations
Proposed

scheme 1615
 drwg no. **P(204)**
 rev -

scale 1:100@A3
 date first drawn Aug 13
 drawn by MB

AK: sketch P: proposed Y: under construction AB: added

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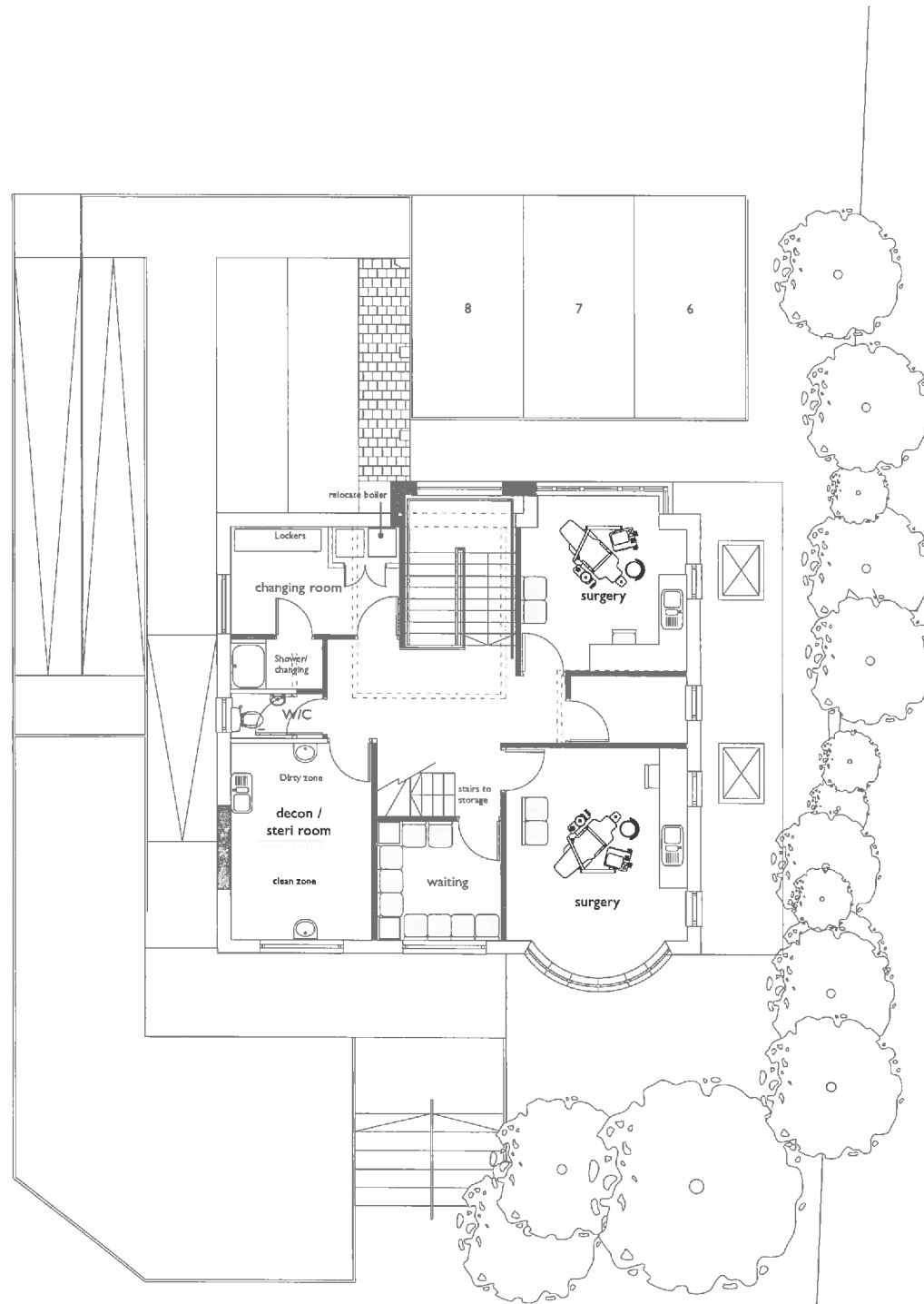
Absolute Dental

Ground Floor Plan
Proposed

schema 1615
 draw no. **P(100)**
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scale 1:100@A3
 date first drawn Aug 15
 drawn HJF

HK arch P proposed T tender Construction AB submit
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 e architect@ateliermb.co.uk



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Absolute Dental

First Floor Plan
Proposed

scheme 1615
 drwg no. **P(101)**
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scale 1:1000 A3
 date first drawn Aug 15
 drawn HD

JK:HLK P:Proposed T:interior C:conversion AB:sketch
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Ward: Whitefield + Unsworth - Unsworth

Item 07

Applicant: Morris Homes Limited

Location: The Hollins, Haweswater Crescent, Bury, BL9 8LT

Proposal: Substitution of house types to plots 3,4,11,20 & 21 following grant of planning permission ref. 56860

Application Ref: 59224/Full

Target Date: 06/11/2015

Recommendation: Approve with Conditions

Description

The site is a split level site, with a level plateau near the access from Church Meadow and the land slopes steeply towards Haweswater Crescent. The site has planning permission for a residential development of 21 dwellings, which was granted in December 2014. The Haweswater Aqueduct passes through the site. The site did contain an office building, which has since been demolished and occupants relocated to Bury and Whitefield. There is a car park near the access onto Church Meadow and a landscaped area to the west. The site is some 2 - 3 metres higher than the residential properties to the north.

The site is bounded by residential properties to all boundaries.

Planning permission was granted in December 2014 for the construction of 21 dwellings. All of the dwellings would be detached and would be constructed from red brick with a tile roof. The site would be accessed from Church Meadow.

The proposed development involves the substitution of house types for plots 3, 4, 11, 20 and 21, as the position of the aqueduct was surveyed and plotted incorrectly. The proposed dwellings would be detached and would be constructed from red brick with a tile roof. The proposed access would be unaffected by the proposals.

Relevant Planning History

56860 - Erection of 21 no. detached dwellings at the Hollins, Haweswater Crescent, Bury. Approved with conditions - 19 December 2014.

59242 - Non-material amendment following grant of planning permission 56860 for erection of 21 no. detached dwellings: Plots 7, 10, 11, 12, 12a, 14, 15 and associated access road located 2 metres away from existing dwellings at the Hollins, Haweswater Crescent, Bury. Approved - 16 October 2015.

Publicity

64 neighbouring properties were notified by means of a letter on 18 September 2015.

4 letters have been received from the occupiers of 4, 19, 40 Haweswater Crescent and 64 Church Meadow, which have raised the following issues:

- There are a number of issues with the consideration of application for this site:
 - There is a second application (59242), which I have not been notified of
 - The documentation states that the previously approved layout is N272/P/PL02
 - The United Utilities response (15/10/2014) states that the development must be carried out in accordance with N272/P/PL02 Rev A.
- It now transpires that the layout approved under application 56860 does not meet the requirements of United Utilities. This is the second time that a layout has had to be amended to accommodate United Utilities, which is not a satisfactory state of affairs.

- The proposed plan (N272/P/PL02 Revision C is severely compromised by the 12 metre wide easement. The proposal attempts to place 21 units on a site, which is unsuitable for such density and does this by encroachment on the private amenity space of the existing Haweswater Crescent residents.
- Plot 15 would be relocated by 3 metres to the west, which further compromises my amenity. In addition, the finished floor level would be 1 metre above existing site levels, which would result in a dominating and oppressive outlook.
- The gable of plot 15 has overlooking windows and should be set back by at least 7 metres to prevent loss of privacy. The proposed windows in the gable of plot 15 would provide a direct view into my garden, bedrooms, kitchen and lounge.
- The outlook from No. 40 Haweswater Crescent would be unacceptable and dominated by the proposed dwelling leading to an oppressive feeling in all of these rooms.
- Acknowledge that development is required to address the shortfall in housing numbers, but the proposed layout takes no account of the Council's policies.
- Query whether the existing business has relocated within the borough of Bury in compliance with the previous approval.
- The number of parking spaces for plot 3 has been reduced, which would lead to more cars parking on the road and further problems for existing residents.
- We believe that the owners of plot 3 may decide to construct a garage under permitted development rules, which would contradict the condition relating to the minimum driveway lengths.
- The only acceptable reason for these revisions is if there are unforeseen problems with the utilities and or/aqueduct.
- Query which layout the developer has been working to whilst on site.
- Morris Homes are trying to squeeze too many house son the site.
- Plot 19 is too close to the fenceline and it would be better to remove plot 19 and space out plots 29 and 21. This would allow natural daylight to reach number 2 and 4 Haweswater Crescent.
- A large pine tree remains on the boundary to No. 64 Church Meadow. This should be removed as it blocks light and the roots are lifting the paving stones.

The objectors have been notified of the Planning Control Committee.

Consultations

Traffic Section - No objections in principle. Any further comments to be reported in the Supplementary Report.

Drainage Section - Comments awaited.

Environmental Health - Contaminated Land - No objections, subject to the inclusion of conditions relating to contaminated land.

United Utilities - No objections, subject to the inclusion of a conditions relating to foul and surface water drainage.

Unitary Development Plan and Policies

EC2/2	Employment Land and Premises
H1/2	Further Housing Development
H2/1	The Form of New Residential Development
H2/2	The Layout of New Residential Development
EN1/2	Townscape and Built Design
EN1/3	Landscaping Provision
EN6	Conservation of the Natural Environment
EN6/3	Features of Ecological Value
EN7	Pollution Control
EN7/2	Noise Pollution
EN7/5	Waste Water Management
EN8	Woodland and Trees
EN8/2	Woodland and Tree Planting
RT2/2	Recreation Provision in New Housing Development
HT2/4	Car Parking and New Development

HT5/1	Access For Those with Special Needs
SPD1	Open Space, Sport and Recreation Provision
SPD6	Supplementary Planning Document 6: Alterations & Extensions
SPD11	Parking Standards in Bury
NPPF	National Planning Policy Framework

Issues and Analysis

The following report includes analysis of the merits of the application against the relevant policies of both the National Planning Policy Framework (NPPF) and the adopted Bury Unitary Development Plan (UDP) together with other relevant material planning considerations. The policies of the UDP that have been used to assess this application are considered to be in accordance with the NPPF and as such are material planning considerations. For simplicity, just the UDP Policy will be referred to in the report, unless there is a particular matter to highlight arising from the NPPF where it would otherwise be specifically mentioned.

Principle - Following revocation of the North West Regional Spatial Strategy on 20 May 2013, there is no statutory housing target for Bury. Work is continuing on Bury's Local Plan, which will bring forward a new statutory housing target.

In the meantime, the National Planning Policy Framework should be treated as a material planning consideration and it emphasises the need for local planning authorities to boost the supply of housing to meet local housing targets in both the short and long term. There is a particular emphasis, as in previous national planning guidance, to identify a rolling five year supply of deliverable housing land.

Policy H1/2 states that the Council will have regard to various factors when assessing a proposal for residential development, including whether the proposal is within the urban area, the availability of infrastructure and the suitability of the site, with regard to amenity, the nature of the local environment and the surrounding land uses.

The principle of residential development on this site was established with the grant of planning permission for 21 dwellings in December 2014. The site is located within the urban area and in a residential area and would not conflict with the surrounding land uses. The site did contain a building and is previously developed land. Therefore, the proposed development would be acceptable in principle and would be in accordance with Policy H1/2 of the Bury Unitary Development Plan.

Design and layout - The proposed dwellings for plots 3, 4, 11, 20 and 21 would be detached and would be two storeys in height and of similar design to the surrounding houses on the development. The provision of bay windows, canopies, porches, brick eaves, stone cills and headers to windows help to break up and animate the elevations. The existing dwellings are constructed from a variety of materials, including red brick, beige brick and render. The proposed dwellings would be constructed from red brick with a grey tile roof, which would match some of the surrounding properties and would complement the remaining dwellings. Therefore, the proposed development would not be unduly prominent within the locality and would be in accordance with Policies H2/1, H2/2 and EN1/2 of the Bury Unitary Development Plan.

Impact upon surrounding area - The proposed dwellings would have a side or rear garden and have an acceptable level of private amenity space. There would be space within the rear or side gardens for bin storage. The proposed boundary treatments would be as already approved elsewhere on the site comprising:

- a 1.8 metre high screen wall to the rear gardens, which are immediately adjacent to the access road
- a 1.8 metre high timber boarded fencing between the remaining rear gardens
- the boundary to the north of the site would be marked by a 1.2 metre high 3 rail ranch type fence.

The proposed boundary treatments would be acceptable and would not be unduly

prominent feature within the locality. Therefore, the proposed development would be in accordance with Policies H2/1, H2/2 and EN1/2 of the Bury Unitary Development Plan.

Impact upon residential amenity - SPD6 provides guidance on aspect standards between residential properties and would be relevant in this case.

There would be a minimum of 20.1 metres between the front elevation of plot 3 and the properties on Haweswater Crescent. There would be 15.9 metres between the rear of plot 11 and the gable of No. 7 Mere Close. Both of these distances would comply with the aspect standards in SPD6.

All of the relationships within the proposed development would comply with the relevant aspect standards.

Therefore, the proposed development would not have an adverse impact upon the amenity of the neighbouring properties.

Haweswater Aqueduct - The proposed development has been redesigned to ensure that none of the proposed built development would be located on top of the aqueduct or the easements required by United Utilities. United Utilities has no objections to the proposal, subject to the inclusion of conditions relating to foul and surface water drainage. Therefore, the proposed development would be in accordance with Policies EN7/4 and EN7/5 of the Bury Unitary Development Plan.

Highways issues - The access to the proposed development would remain as existing and would be taken from Church Meadow. The proposed access would have acceptable levels of visibility at the junction of the proposed access with Church Meadow. The Traffic Section has no objections to the proposal in principle and further comments will be reported in the Supplementary Report.

Parking - SPD11 states that the maximum number of parking spaces is 3 spaces per 4 bed dwelling and 2 spaces per 3 bed dwelling. For plots 3, 4, 11, 20 and 21, this would equate to a maximum of 13 spaces.

12 spaces would be provided and 1 dwelling would have access to a double garage in addition to the parking spaces proposed. As such, the provision of 14 parking spaces would comply with the parking standards. Therefore, the proposed development would be in accordance with Policy HT2/4 of the Bury Unitary Development Plan.

Response to objectors

- The issues relating to privacy and parking provision have been addressed in the above report.
- Application 59242 is a non-material amendment application for the re-positioning of an internal access road and there is no statutory obligation to undertake any publicity for this type of application.
- The proposed layout has to be amended as the position of the aqueduct and therefore, the required easements was not plotted correctly. It is therefore, reasonable to revise the scheme and duly consider it.
- The number of dwellings and the density of the development is the same as previously approved, which was considered to be acceptable. The layout maintains and complies with adopted policy.
- The amendments to the position of plot 15 are the subject of a further application, which is to be submitted shortly and neighbouring properties will be notified by means of a letter on receipt of a valid application. As such, the issues relating to the relationship of plot 15 and No. 40 Haweswater Crescent are not material to this application.
- The business did relocate within the borough of Bury.

Statement in accordance with Article 35(2) Town and Country Planning (Development

Management Procedure) (England) (Amendment) Order 2015

The proposal complies with the development plan and would improve the economic, social and environmental conditions of the area. It therefore comprises sustainable development and the Local Planning Authority worked proactively and positively to issue the decision without delay. The Local Planning Authority has therefore implemented the requirement in Paragraphs 186-187 of the National Planning Policy Framework.

Recommendation: Approve with Conditions

Conditions/ Reasons

1. The development must be begun not later than three years beginning with the date of this permission.
Reason. Required to be imposed by Section 91 Town & Country Planning Act 1990.
2. This decision relates to drawings numbered N272/P/PL02 C, N272/HTBOL/01, N272/HTBOL/02, N272/P/HTELY/01, N272/P/HTELY/02 and the development shall not be carried out except in accordance with the drawings hereby approved.
Reason. For the avoidance of doubt and to ensure a satisfactory standard of design pursuant to the policies of the Bury Unitary Development Plan listed.
3. No development shall commence unless and until:-
 - A contaminated land Preliminary Risk Assessment report to assess the actual/potential contamination and/or ground gas/landfill gas risks at the site shall be submitted to, and approved in writing by, the Local Planning Authority;
 - Where actual/potential contamination and/or ground gas/landfill gas risks have been identified, detailed site investigation and suitable risk assessment shall be submitted to, and approved in writing by the Local Planning Authority;
 - Where remediation/protection measures is/are required, a detailed Remediation Strategy shall be submitted to, and approved in writing by, the Local Planning Authority.Reason. The scheme does not provide full details of the actual contamination and subsequent remediation, which is required to secure the satisfactory development of the site in terms of human health, controlled waters, ground gas and the wider environment and pursuant to National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.
4. Following the provisions of Condition 3 of this planning permission, where remediation is required, the approved Remediation Strategy must be carried out to the satisfaction of the Local Planning Authority within agreed timescales; and A Site Verification Report detailing the actions taken and conclusions at each stage of the remediation works, including substantiating evidence, shall be submitted to and approved in writing by the Local Planning Authority prior to the development being brought into use.
Reason. To secure the satisfactory development of the site in terms of human health, controlled waters and the wider environment and pursuant to National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.
5. Any soil or soil forming materials brought to site for use in garden areas, soft landscaping, filling and level raising shall be tested for contamination and suitability for use on site. Proposals for contamination testing including testing schedules, sampling frequencies and allowable contaminant concentrations (as determined by appropriate risk assessment) and source material information shall be submitted to and approved in writing by the Local Planning Authority prior to any soil or soil forming materials being brought onto site, and;
The approved contamination testing shall then be carried out and validatory

evidence (soil descriptions, laboratory certificates, photographs etc) submitted to and approved in writing by the Local Planning Authority prior to the development being brought into use.

Reason. To secure the satisfactory development of the site in terms of human health, controlled waters and the wider environment and pursuant to National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.

6. All instances of contamination encountered during the development works which do not form part of an approved Remediation Strategy shall be reported to the Local Planning Authority (LPA) immediately and the following shall be carried out where appropriate:

- Any further investigation, risk assessment, remedial and / or protective works shall be carried out to agreed timescales and be approved by the LPA in writing;
- A Site Verification Report detailing the conclusions and actions taken at each stage of the works including validation works shall be submitted to, and approved in writing by, the LPA prior to the development being brought into use.

Reason. To secure the satisfactory development of the site in terms of human health and the wider environment and pursuant to National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.

7. The materials shall be:

- Ibstock Leicester Weathered Multi
- Russell Grampian Slate Grey

Reason. In the interests of visual amenity and to ensure a satisfactory development pursuant to Policy EN1/2 - Townscape and Built Design of Bury Unitary Development Plan.

8. Notwithstanding the submitted plan, a landscaping scheme shall be submitted to, and approved in writing by, the Local Planning Authority prior to the commencement of the development. The landscaping scheme shall include details of the proposed types of planting and distances from the easement. It shall be implemented not later than 12 months from the date the building(s) is first occupied; and any trees or shrubs removed, dying or becoming severely damaged or becoming severely diseased within five years of planting shall be replaced by trees or shrubs of a similar size or species to those originally required to be planted to the written satisfaction of the Local Planning Authority.

No planting should take place within the easement strip, unless specified on the approved landscaping scheme.

Reason. The scheme does not provide full details of the planting in relating to the easement and to secure the satisfactory development of the site in the interests of visual amenity and to ensure protection of the aqueduct pursuant to Policy EN1/2 - Townscape and Built Design and EN8/2 – Woodland and Tree Planting of the Bury Unitary Development Plan and Section 10 of the National Planning Policy Framework.

9. No development shall commence unless or until details of a scheme for the disposal of foul and surface water drainage has been submitted to and approved in writing by the Local Planning Authority. The scheme must include an assessment of potential SuDS options for surface water drainage with appropriate calculations to support the chosen solution. The approved details shall be implemented prior to first occupation of the dwellings hereby approved.

Reason. The scheme does not provide calculations to support the chosen design and to ensure a satisfactory means of drainage pursuant to Policy EN7/5 - Waste Water Management of the Bury Unitary Development Plan and the NPPF.

10. No development shall commence unless or until a Method Statement for the protection of the aqueduct during demolition and construction has been submitted to and approved in writing by the Local Planning Authority. The Method Statement shall include details of the measures to protect the aqueduct during
1. The demolition of existing structures,
 2. The construction stages of the road/ footways and the residential dwellings.
- The Method Statement must include proposals for reinforcing the crossing points along the service roads to ensure they are protected from heavy loads and must be in accordance with the United Utilities document 'Standard Conditions for works adjacent to pipelines'.
The demolition and construction works must be carried out in accordance with the approved Method Statement.
- Reason. The scheme does not provide full details of the protection measures and to ensure the protection of the aqueduct and water supply pursuant to Section 10 of the National Planning Policy Framework.
11. Notwithstanding the details indication on approved plan reference N272/P/PL02 Revision A, no development shall commence unless and until full details of the following have been submitted to and agreed in writing with the Local Planning Authority:
- access alterations on Church Meadow incorporating the provision of a footway on the easterly side of the former car park access, removal of the existing gates, gateposts and appropriate sections of boundary wall in order to form pedestrian accesses on both sides of the estate road, demarcation of the limits of the adopted highway and all necessary alterations to existing highway drainage, street lighting and associated remedial works;
 - access alterations on Haweswater Crescent incorporating the full refurbishment of the existing footway abutting the site in order to accommodate the reinstatement of the redundant site access opposite No. 21, formation of the footway crossings serving Plots 1 -3, 5 & 6 and the sub-station, demarcation of the limits of the adopted highway and all necessary alterations to existing highway drainage, street lighting and associated remedial works;
 - street lighting scheme for the residential development including any alterations/improvements required on Church Meadow and Haweswater Crescent in the vicinity of the site;
 - swept path analysis of the proposed estate road to ensure a refuse collection vehicle can pass a private car and manoeuvre at the turning head;
 - visibility splays in accordance with the standards in Manual for Streets appropriate for a speed of 25mph at the junction of the site access with Church Meadow with no obstructions above the height of 0.6m within them;
 - adequate bin collection points/hardstandings located clear of the adopted highway agreed with Cleansing Services to serve Plots 4, 7, 8, 10, 11 and 15 - 17.
- The details subsequently approved shall be implemented to the written satisfaction of, and to a programme and specification to be agreed with, the Local Planning Authority.
- Reason. The scheme does not provide details and to ensure good highway design in the interests of road safety and to maintain the integrity of the adopted highway pursuant to the following Policies of the Bury Unitary Development Plan:
Policy H2/1 - The Form of New Residential Development
Policy H2/2 - The Layout of New Residential Development.
12. A minimum hardstanding of 5.5m measured between the highway boundary and any proposed garage doors shall be provided and thereafter maintained.
- Reason. To enable a vehicle to stand clear of the highway whilst the garage doors are opened and to allow adequate space to maintain a vehicle clear of the highway in the interests of road safety pursuant to Policy H2/2 - The Layout of New Residential Development of the Bury Unitary Development Plan.

13. The turning facilities indicated on the approved plan reference N272/P/PL02 Revision A (or similar provision that enables construction traffic to enter and leave the site in a forward gear agreed in writing with the Local Planning Authority) shall be provided before the development is brought into use and shall subsequently be maintained free of obstruction at all times.
Reason. To minimise the standing and turning movements of vehicles on the highway in the interests of road safety pursuant to the following Policies of the Bury Unitary Development Plan:
Policy H2/1 - The Form of New Residential Development
Policy H2/2 - The Layout of New Residential Development.

For further information on the application please contact **Helen Longworth** on **0161 253 5322**

Viewpoints



PLANNING APPLICATION LOCATION PLAN

APP. NO

ADDRESS: The Hollins, Haweswater Crescent
Bury



Planning, Environmental and Regulatory Services **1:1250**

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59224

Photo 1



Photo 2



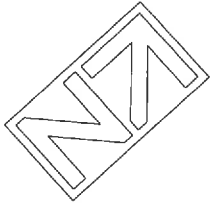
59224

Photo 3



Photo 4





SCHEDULE OF ACCOMMODATION

NAME	DESCRIPTION	SIZE (sqft)	Units	TOTAL (sqft)
Bramhall	4 bed detached	1311	2	2622
Houghton 2	4 bed detached	1325	1	1325
Moreton 2	4 bed detached	1326	2	2652
Wilmington	4 bed detached	1462	3	4386
Appleton 2	4 bed detached	1054	2	2108
Wharfedale	4 bed detached	1338	2	2676
Brereton	4 bed detached	1172	3	3516
Bollington 2	4 bed detached	1076	1	1076
Dunham 2	3 bed detached	957	1	957
Capesthorpe 2	3 bed detached	952	1	952
Ely	3 bed detached	938	3	2814
TOTAL			21	25,084

LEGEND

- Proposed dwelling
- Proposed brick built garage
- Proposed garage space
- Common areas of shared drives to be contrasted material or kerb edgings to delineate shared drive areas
- Proposed 1.8m high feather edge boarded timber screen fence
- Proposed 1.8m high feather edge boarded timber screen fence with P.C.C. posts & gravel boards
- Proposed 1.8m high screen wall
- Proposed 1.2m high railings
- Existing hedge to be retained
- Existing hedge to be removed
- Existing tree to be retained
- Existing tree to be removed

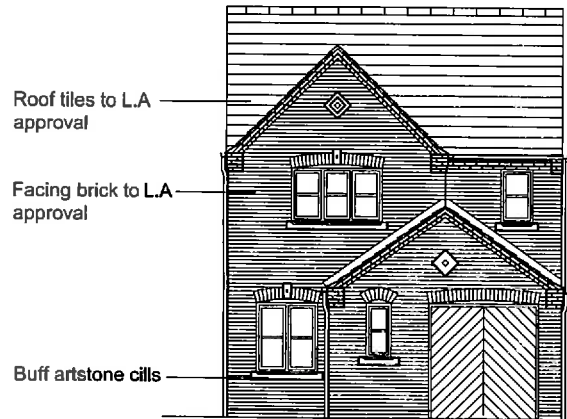
REV	DESCRIPTION	DATE	INT
D	Plot 3 changed to Bollington 2. New entrance road alignment adjusted slightly.	10.09.15	RGE
B	Aqueduct easement location updated. Plot subdivisions and general layout adjustments made.	07.08.15	RGE
A	Highway comments and UJI comments added to layout from emails dated 8.10.14	13.10.14	RGE

Morris Homes (Group) Limited
 Morland House
 Altrincham Road
 Wilmslow
 Cheshire SK9 5NW
 Tel: (01625) 544 444
 Fax: (0845) 833 1845

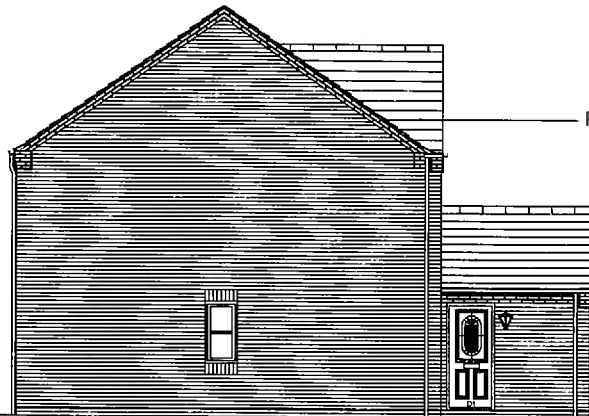
Job Title
HAWESWATER CRESCENT, BURY.

Dep. Title
PLANNING LAYOUT

Date	Drawn	Checked	Scale	Dep. No.	Rev.
08/08/14	RGE		1:500 @ A1	N272/P/PL02	C



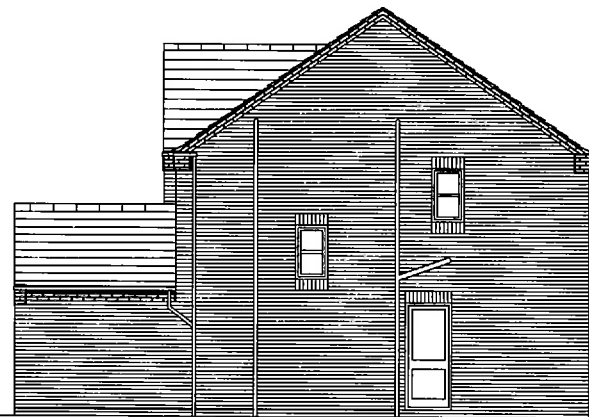
Front Elevation



Side Elevation



Rear Elevation



Side Elevation

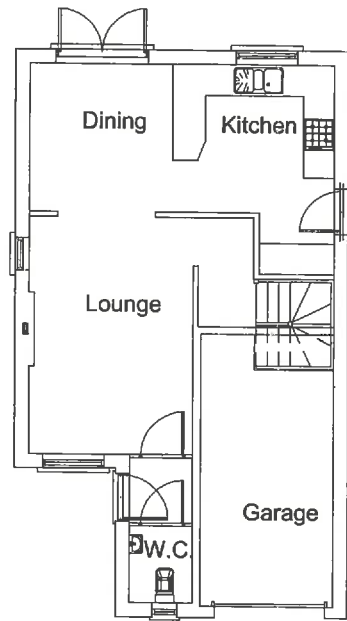
REV	DESCRIPTION	DATE	BY


 Morris Homes (Group) Limited
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 Cheshire SK9 5NW
 Tel: (01625) 544 444
 Fax: (0845) 833 1845

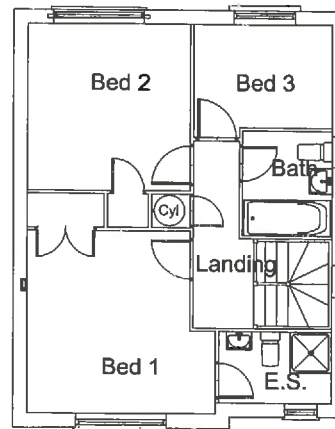
Job Title
HAWESWATER CRESCENT, BURY

Draw Title
ELY HOUSE TYPE ELEVATIONS


DATE	DESIGN	CHECKED	SCALE	APP'D	BY
11/09/15	SJM		1:100 @ A3	N272/P/HTELY/01	-



GROUND FLOOR LAYOUT



FIRST FLOOR LAYOUT

REV	DESCRIPTION	DATE	BY
 <p>Morris Homes (Group) Limited Morkland House Altrincham Road Wilmslow Cheshire SK9 5NW Tel: (01625) 544 444 Fax: (0845) 833 1845</p>			
<p>Doc Title HAWESWATER CRESCENT, BURY</p>			
<p>Doc Title ELY HOUSE TYPE FLOOR PLANS</p>			
DATE	DRAWN	CHECKED	SCALE
11/09/15	SJM		1:100 @ A3
			NO

Roof tiles to L.A approval

Facing brick to L.A approval

Buff artstone cills

Projecting brick verge detail

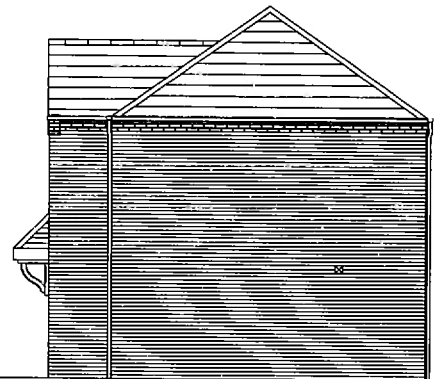
Brick on edge soldier course detail

Front Elevation

Side Elevation



Rear Elevation



Side Elevation

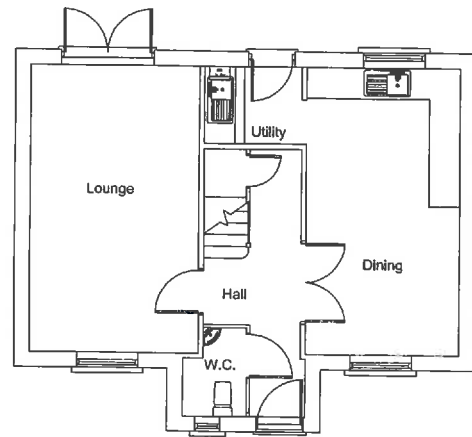
REV	DESCRIPTION	DATE	BY


 Morris Homes (Group) Limited
 Morland House
 Altrincham Road
 Wilmslow
 Cheshire SK9 5NW
 Tel: (01625) 544 444
 Fax: (0845) 833 1845

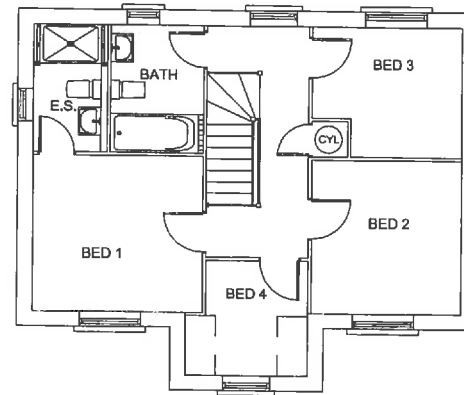
Job Title
HAWESWATER CRESCENT, BURY

Dep. Title
BOLLINGTON 2 HOUSE TYPE ELEVATIONS

DATE	DRAWN	CHECKED	SCALE	APP'D	PROJECT	TR
11/09/15	SJM		1:100 @ A3		N272/HTBOL01	-



GROUND FLOOR LAYOUT



FIRST FLOOR LAYOUT

REV	DESCRIPTION	DATE	BY


 Morris Homes (Group) Limited
 Morland House
 Altrincham Road
 Wilmslow
 Cheshire SK9 5NW
 Tel: (01625) 544 444
 Fax: (0845) 833 1845

Job Title
HAWESWATER CRESCENT, BURY

Draw Title
**BOLLINGTON 2 HOUSE TYPE
 FLOOR PLANS**

Date	Drawn	Checked	Scale	Proj No	Rev
11/09/15	SJM		1:100 @ A3	N272/HTBOL/02	-